

**HISTORIC RESOURCES DOCUMENTATION PACKAGE
THE MANOR HOUSE AT
CAMP SONGADEEWIN OF KEEWAYDIN
SALISBURY, ADDISON COUNTY, VERMONT**



Keewaydin Manor House, existing west elevation (NBF Architects 2016)

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UVM CAP Report No. 1128

April 6, 2018

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SALISBURY, ADDISON COUNTY, VERMONT**

Submitted to:

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PROJECT SUMMARY

The Keewaydin Foundation is currently rehabilitating the ca. 1900 Manor House building at Camp Songadeewin of Keewaydin, located on Lake Dunmore in Salisbury, Addison County, Vermont (Figures 1 – 5). The Manor House was originally constructed as a summer home for Frank C. Meehan, a wealthy Reno, Nevada casino owner from Hinesburg, Vermont (Sagerman 2017). After Frank Meehan's death in 1906, his son Frank Jr. and wife Lillian operated the property as a summer resort; they sold it in 1925 and it became Camp Dunmore for Girls. The girl's camp remained active for many decades but was sold in 1995 to the Keewaydin Foundation who operates Camp Songadeewin today. The Keewaydin Foundation primarily utilized the Manor House for storage and as space for two offices. The current rehabilitation will expand the building's use for offices and meeting space.

Historic Preservation Consultant Paul Sagerman completed an Act 250 Project Review Report for the proposed rehabilitation of the Manor House in 2017 (Sagerman 2017). Her review recommended that the proposed enlargement of dormers and the installation of skylights would result in an Adverse Effect to the Manor House, which is listed on the State Register of Historic Places (#49b Salisbury) and considered eligible for inclusion on the National Register of Historic Places (VDHP 1992; Sagerman 2017). Sagerman's recommended mitigation for the Adverse Effect included the preparation of a Historic Resources Documentation Package for the Manor House, according to guidelines established by the Vermont Division for Historic Preservation (Sagerman 2017).

Based on information submitted for review, and consultation between the Keewaydin Foundation and the VDHP, the VDHP recommended to the Act 250 District 9 Environmental Commission that the proposed Manor House rehabilitation would have an *Adverse Effect, Not Undue*, on historic sites, so long as seven permit conditions outlined by the VDHP were included in the LUP permit or amendment issued by the District 9 Commission for the project (VDHP 2017). As a result, one mitigation measure included:

5. The applicant shall hire a qualified architectural historian to prepare a Historic Resource Documentation Package of the Manor House to be completed according to the "Photographic Documentation Requirements for Historic Structures" established by Vermont Division for Historic Preservation. The archival printed photographs will be produced prior to alteration of the dormers and roof, and after the interior of the building has been cleaned out, if possible. In addition to the VDHP and Keewaydin Foundation, copies of the report will be provided to the local library and Town office, which is also the location of the Salisbury Historical Society.

In fulfillment of mitigation measure five, this Historic Resources Documentation Package (HRDP) was completed by University of Vermont Consulting Archaeology Program (UVM CAP) Historic Preservation Specialist Catherine Quinn. Because roof dormers were going to be enlarged and skylights added, the VDHP also requested photographs of the interior roof structure after it had been exposed. The roof structure photographs are included in this HRDP.

This HRDP utilizes physical descriptions of the Manor House verbatim from documentation previously prepared by Paula Sagerman (Sagerman 2017). Documentation photographs of the attic story roof structure were taken during a site visit by Quinn on November 3, 2017, and additional photographs, including photographs of the exterior and all interior floors were taken on previous site visits from 2016 to 2017 by architect Ralph Nimtz, Historic Preservation Consultant Paula Sagerman, and VDHP Historic Resources Specialist Elizabeth Peebles. All photographs are credited to the specific photographer. The attic rafters photographs were taken during rehabilitation of the Manor House; all other photographs were taken prior to the start of project work.

Physical descriptions of the interior and exterior of the Manor House are provided, along with a statement of significance. Select photographs of the Manor House are included in this write-up, with additional photographs included on the HRDP CD; a numbered photograph index and sketch map keyed to the photographs are included in Appendix I. Architectural plans documenting existing conditions are included in the body of this report and renovation plans are presented in Appendix II. After review by the VDHP, copies of the report with archival photographs will be provided to the local library and Town Office/Salisbury Historical Society. Additional permit mitigation measures have been/will be addressed under separate documents or communications with the Keewaydin Foundation and the VDHP.



Figure 1. View northeast of Camp Keewaydin with Lake Dunmore in foreground; Manor House located behind coniferous trees at center (Sagerman 2017).



Figure 2. View east of the Manor House; Lake Dunmore at background right (Peebles 2017).



Figure 3. View southwest of the Manor House; Lake Dunmore at background left (Sagerman 2017).

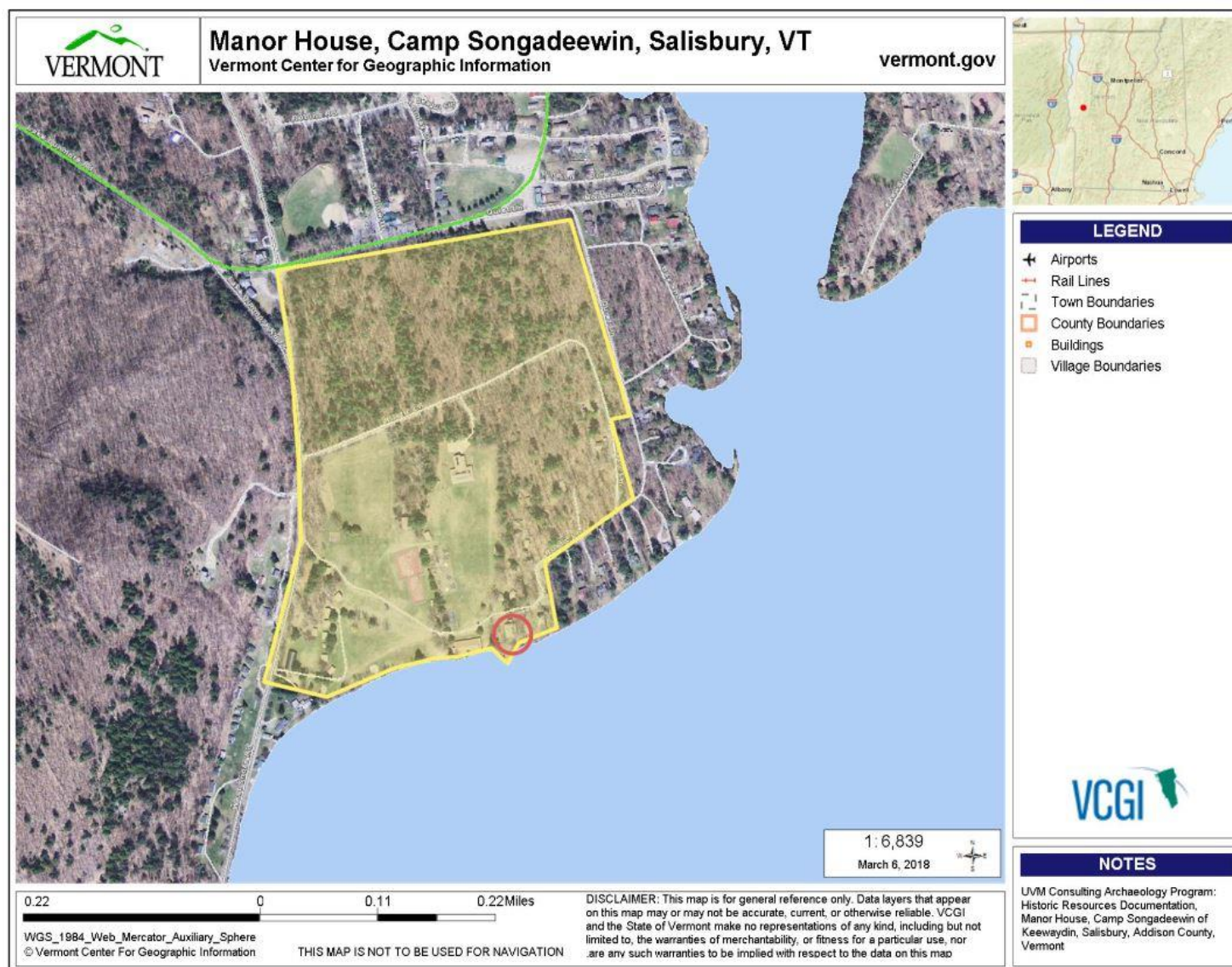


Figure 4. Map showing the location of the Manor House (red circle) at Camp Keewaydin (yellow polygon), Salisbury, Vermont.



Figure 5. Map showing the location of the Manor House at Camp Keewaydin, Salisbury, Vermont.

MANOR HOUSE EXTERIOR PHYSICAL DESCRIPTION

Text by Paula Sagerman¹

(Figures 6 – 17)

This 2 ½ story, wood-framed hipped-roof Colonial Revival building was constructed as a residence and now serves as an administrative and storage facility for Camp Songadeewin of Keewaydin. The main block has a rectangular footprint oriented north-south and a one-story two-bay deep hipped-roof addition at the north end that is slightly more narrow than the main block. The building has a mortared stone foundation and underpinning, clapboard walls, a steep asphalt-shingle roof with boxed cornices, shingled gabled dormers – one centered on each roof slope, tall brick chimneys – one ridge chimney at the ridge's south end and one exterior chimney to the right of the north dormer, and a deep hipped-roof wraparound porch across the west, south, and east elevations. The main block is entered through two doorways at the west elevation, one in the center that is across from one concrete stairway to the porch and leads to the stairhall, and one to the left of this. There is also a concrete stairway to the porch centered on the south end of the porch, facing the lake. The addition has an entryway at the north elevation, which is sheltered by a shallow porch supported at one end by a square post; the other end is adjacent to a small closet accessed from the porch.

Architectural trim includes molded cornices and double friezeboards that encircle the building, flat-stock window and door casings with molded cornices, flat-stock cornerboards and water table, and pedimented dormer gables with molded cornices and gables. The porch has Tuscan columns, molded wood railings with square balusters, an exposed roof structure, tongue-and-groove decking, wooden lattice apron screening, and the steps have metal pipe railings. The exterior doorways at the main block have oak doors with three lower panels and one upper panel above a square beveled-glass pane, and a decorative metal knobs and backplates. They are surmounted by two-pane transoms. The doorways to the addition and exterior closet have six-panel and five-panel wood doors, respectively. The building has regularly-spaced two-over-one wood windows protected by wood storm windows that have one horizontal muntin.

¹ Paula Sagerman 2017:2.

Exterior Existing Elevations



Figure 6. Keewaydin Manor House, existing west elevation (NBF Architects 2016).



Figure 7. Keewaydin Manor House, existing east elevation (NBF Architects 2016).



Figure 8. Keewaydin Manor House, existing south elevation (NBF Architects 2016).



Figure 9. Keewaydin Manor House, existing north elevation (NBF Architects 2016).

Exterior Photographs



Figure 10. View southwest of the east side of the Manor House (Sagerman 2017).



Figure 11. View northeast of the west side of the Manor House (Peebles 2017).



Figure 12. View northeast of the south side of the Manor House (Sagerman 2017).



Figure 13. View southeast of the north side of the Manor House (Sagerman 2017).



Figure 14. View north of the Manor House west porch (Sagerman 2017).



Figure 15. Manor House west porch columns and entry door, view east (Sagerman 2017).



Figure 16. View east of the Manor House south porch (Nimtz 11/14/2017).



Figure 17. Manor House west porch main entry doorknob and plate (Nimtz 4/13/2016).

MANOR HOUSE INTERIOR PHYSICAL DESCRIPTION

Text by Paula Sagerman²

(Figures 18 – 77)

The interior floor plan includes a three-story open stairhall that is oriented east-west. At the second story and attic, it occupies the full depth of the building, and at the first story, it is divided into two spaces, with a front stairhall providing access to the stairs and a rear hallway providing access to the rear rooms. The first story of the building has single rooms at the northwest, southwest and southeast corners, and a northeast corner divided into two bathrooms, a small room, and closets. The south end of the first story was originally one full-width space, and a wall was added to create the current configuration. The rooms adjacent to the stairhall have large doorway openings with pocket doors. The addition has one room. The second story has a secondary hallway that leads north from the stairhall, bisecting the north end of the story. There south end has one room in each corner, divided by closets, and the north end has a single room and bathroom at the west side, and two small rooms with closets at the east side. The attic has a single room south of the stairhall, and two rooms north of the stairhall. The attic rooms have kneewalls and low sloped ceilings due the roofline.

The main block has wood tongue-and-groove floors, plaster walls and ceilings with coved ceilings at the first story, varnished paneled wainscoting at the first story stairhall, and varnished paneled wainscoting in the bathrooms. Varnished woodwork includes molded baseboards and architrave window and door casings, except the first story bathrooms and closet in between, which have flat-stock casings. The second story and attic have thin painted crown moldings.

The doorways contain six-panel (horizontal panels) varnished wood doors (including the pocket doors off the stairhall), and there are ceiling medallions in the northwest room of the first story and in the first story stairhall. Many rooms have wallpaper over the plaster, and the added wall at the south end of the first story has a full-height beadboard finish. There are acoustical tile ceilings in the first story stairhall and northwest room of the first story. The addition has a painted wood floor, painted beadboard wainscoting, thin molded crown molding, an acoustical tile ceiling, and a quarter-round full-height beadboard corner closet.

There is also a large mantelpiece and fireplace in the southwest room of the first story, which has fluted pilasters and capitals supporting a mantel with a heavily molded cornice above a fluted and curved friezeboard with an egg-and-dart bed molding. Above this, there is a rectangular framed beveled mirror surmounted by a heavily molded projecting cornice supported by fluted tapered round posts with molded bases and Corinthian capitals. There is a molded friezeboard above the projecting cornice. The fireplace is framed by yellow brick. The hearth was concealed by a file cabinet, but may be brick.

The three-story open stairhall has straight-run stairs and parallel hallways with varnished oak elements such as staircases, railings, stringers and paneled wainscoting. The railings are heavily molded and have turned balusters. At each end of the staircase, there is a stout square

² Paula Sagerman 2017:3-4.

newel post with a paneled and molded base and capital, with each panel lined with strings of wooden balls. The hallway railings curve at each end of the staircase to meet the newel posts. The wainscoting is along the first run of stairs and has molded panels (a vertical lower panel and square upper panel) above each stair, as well as a molded cornice. The second run of stairs has a molded baseboard. The stringers have moldings along each stair tread. The header openings are lined with wood moldings, as well.

The first story bathrooms contain ca. 1920s sinks and modern toilets, and the second story bathroom has the house's original oversized claw-foot tub and low-tank toilet on a marble slab, and a modern sink.

Interior Existing Floor Plans

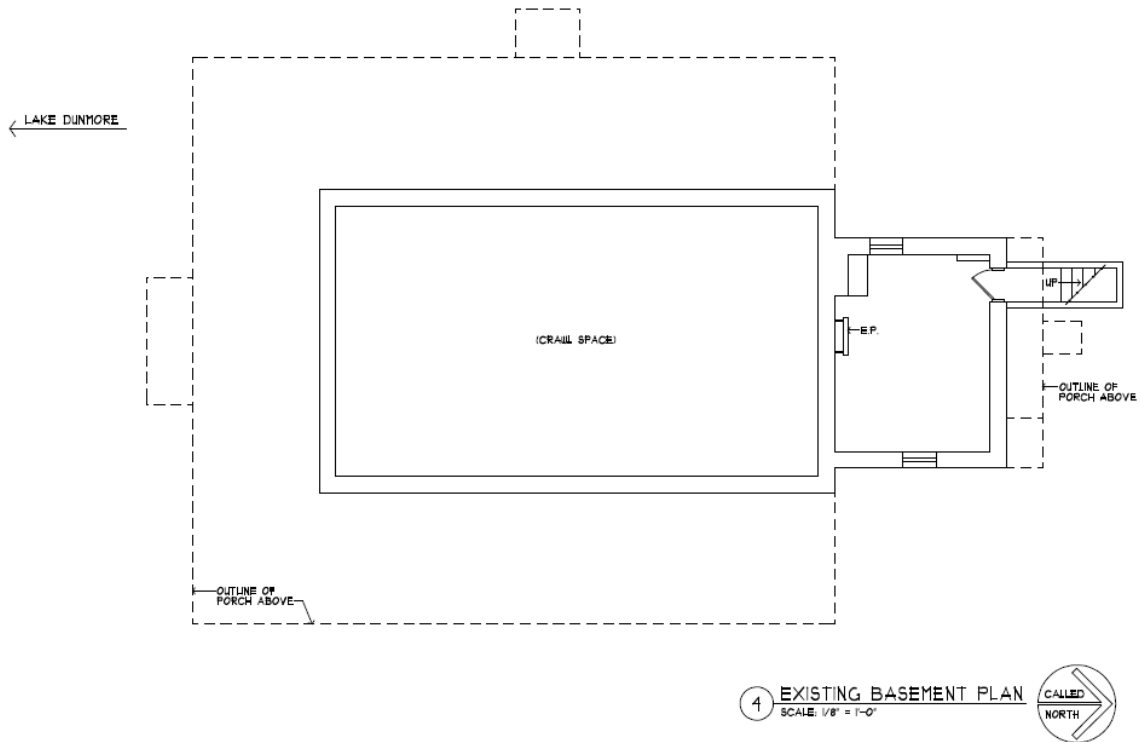


Figure 18. Keewaydin Manor House, existing basement plan (NBF Architects 2016).

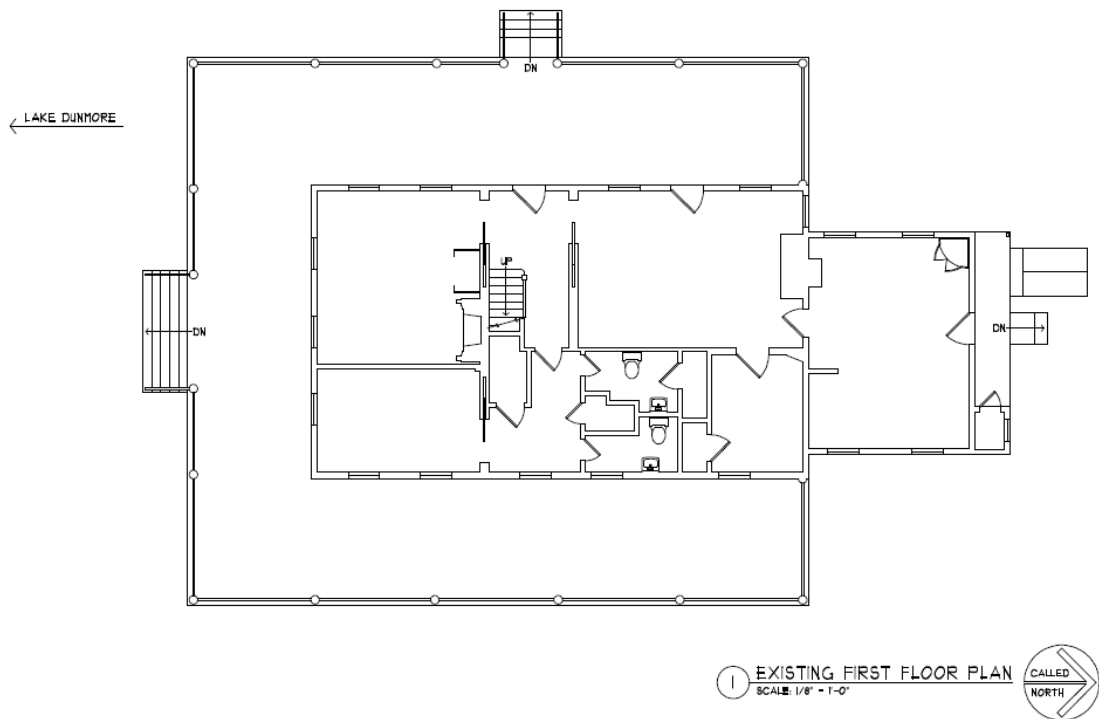


Figure 19. Keewaydin Manor House, existing first floor plan (NBF Architects 2016).

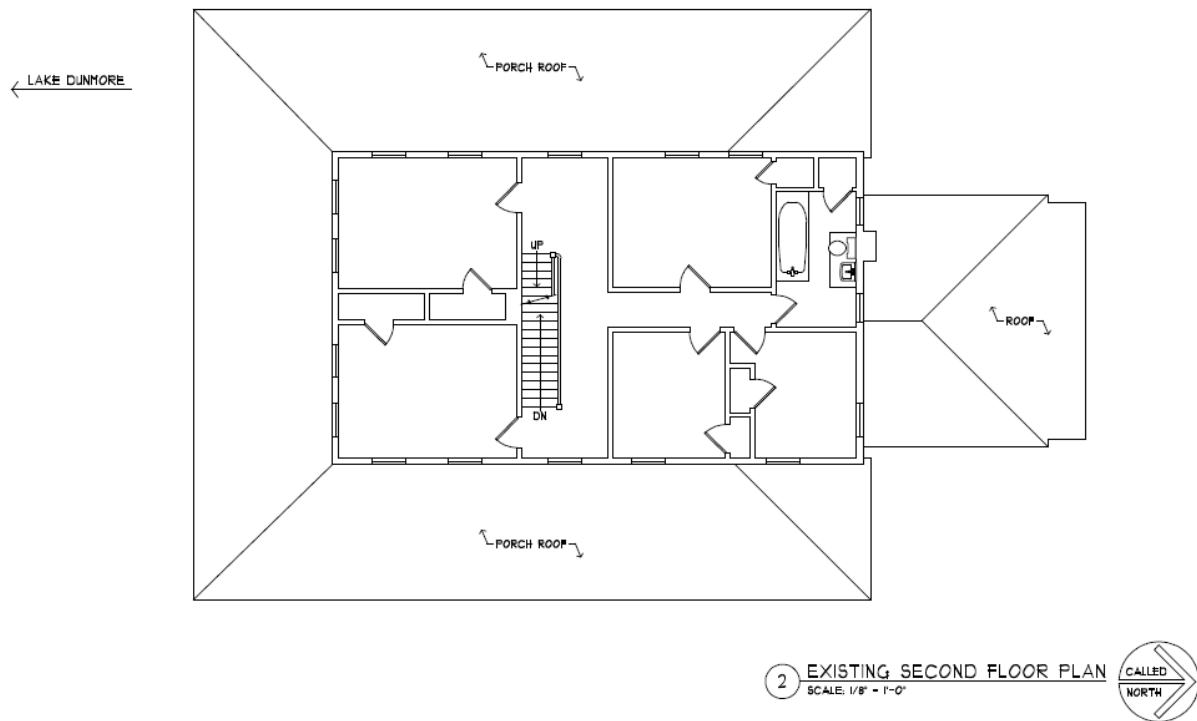


Figure 20. Keewaydin Manor House, existing second floor plan (NBF Architects 2016).

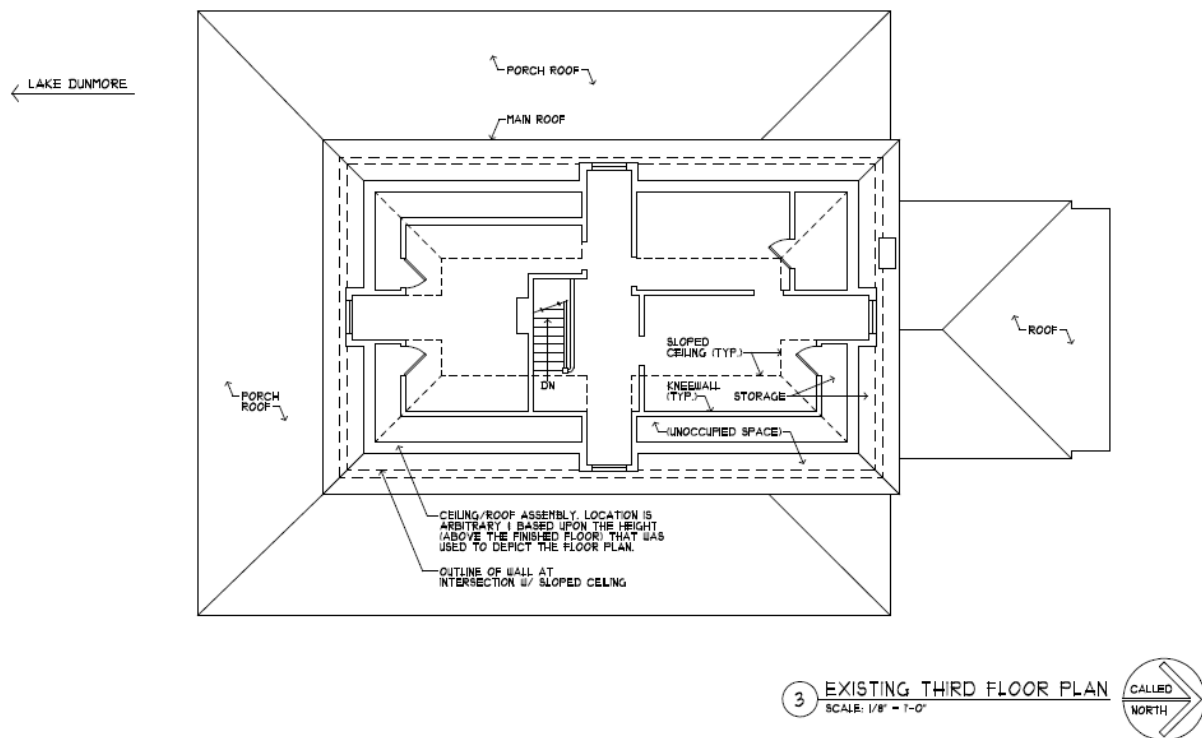


Figure 21. Keewaydin Manor House, existing third floor plan (NBF Architects 2016).

Interior Basement Photographs



Figure 22. Basement (B1) under north addition of Manor House (Nimtz 4/13/16).



Figure 23. Crawl space (C1) under main block of Manor House (Nimtz 12/21/16).

Interior First Floor Photographs



Figure 24. First floor stair hall (F1), view east (Sagerman 2017).



Figure 25. First floor stair hall (F1) main entry door, view west (Sagerman 2017).



Figure 26. First floor northwest room (F2), view southwest (Sagerman 2017).



Figure 27. First floor northwest room (F2), view northeast (Sagerman 2017).



Figure 28. First floor northwest room (F2) entry door and window, view northwest during rehabilitation (Nimtz 10/24/2017).



Figure 29. First floor northwest room (F2) exposed fireplace, view north during rehabilitation (Nimtz 10/24/2017).



Figure 30. First floor, view from northwest room (F2) into northeast room (F3) (Nimtzt 12/21/2016).



Figure 31. First floor southern rooms, southwest (F4) at right and southeast (F5) at left, view southeast during rehabilitation (Nimtzt 11/14/2017).



Figure 32. First floor southwest room (F4), view northwest (Sagerman 2017).



Figure 33. First floor southwest room (F4) fireplace, view northeast during rehabilitation (Nimtz 10/24/2017).



Figure 34. First floor southeast room (F5), view south (Sagerman 2017).



Figure 35. First floor east stair hall room (F6), view east (Sagerman 2017).



Figure 36. First floor bathroom (F7), view north (Sagerman 2017).

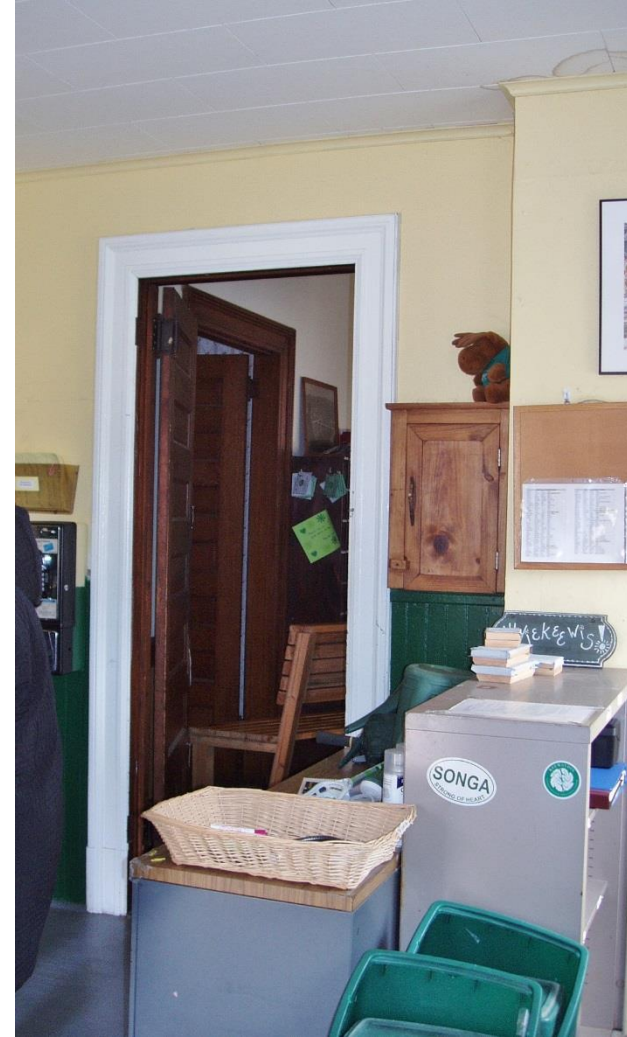


Figure 37. First floor north addition (F9), view southeast (Sagerman 2017).



Figure 38. First floor north addition (F9), view north (Nimtz 12/21/2016).



Figure 39. First floor north addition (F9), view southeast (Nimtz 12/21/2016).

Interior Second Floor Photographs



Figure 40. Second floor stair hall (S1), view west (Sagerman 2017).



Figure 41. Second floor stair hall (S1), view east (Sagerman 2017).



Figure 42. Second floor hallway (S2), view north (Sagerman 2017).



Figure 43. Second floor hallway (S2), view south (Sagerman 2017).



Figure 44. Second floor northwest bedroom (S3), view northwest (Sagerman 2017).



Figure 45. View west from second floor northwest bedroom (S3), across hallway (S2) and into east center bedroom (S6) (Sagerman 2017).



Figure 46. Second floor bathroom (S4), view northwest (Sagerman 2017).



Figure 47. Second floor bathroom (S4), view southeast (Sagerman 2017).



Figure 48. Second floor bathroom (S4), view northwest (Peebles 2017).



Figure 49. Second floor northeast bedroom (S5), view southwest (Sagerman 2017).



Figure 50. Second floor southeast bedroom (S7), view northeast (Sagerman 2017).

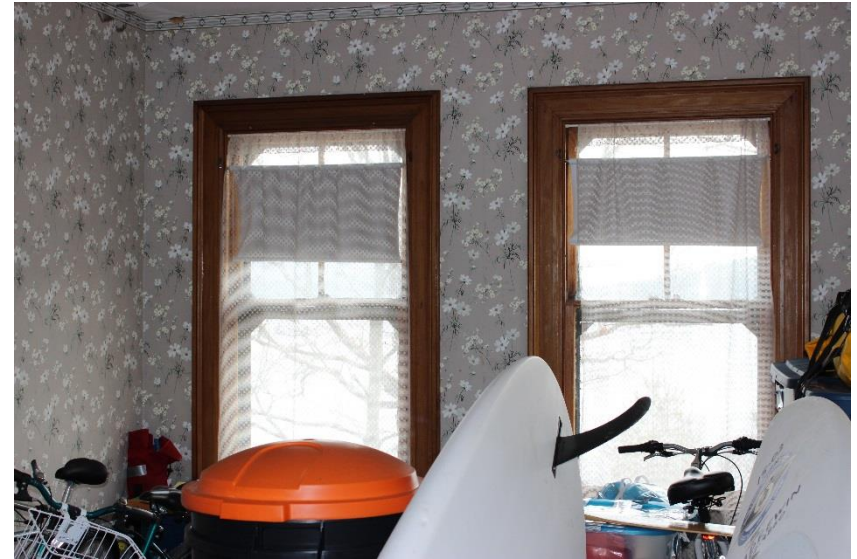


Figure 51. Second floor southeast bedroom (S7), view south (Peebles 2017).

Interior Attic Floor Photographs



Figure 52. View down stairway from attic floor to second floor (Sagerman 2017).



Figure 53. Attic floor stair hall (A1), view southeast (Sagerman 2017).



Figure 54. Attic floor stair hall (A1), view east (Sagerman 2017).



Figure 55. Attic floor stair hall (A1), view northwest (Sagerman 2017).



Figure 56. Attic floor northeast room (A2), view north (Sagerman 2017).



Figure 57. Attic floor northwest room (A3), view north (Sagerman 2017).



Figure 58. Attic floor south room (A4), view southwest (Sagerman 2017).



Figure 59. Attic floor south room (A4), view southeast (Sagerman 2017).

Interior Roof Structure Photographs



Figure 60. Attic floor roof structure, north rooms (A2/3) dormer, view north (Quinn 2017).



Figure 61. Attic floor roof structure, north rooms (A2/3) dormer, view northwest (Quinn 2017).



Figure 62. Attic floor roof structure, north rooms (A2/3) dormer, view up (Quinn 2017).

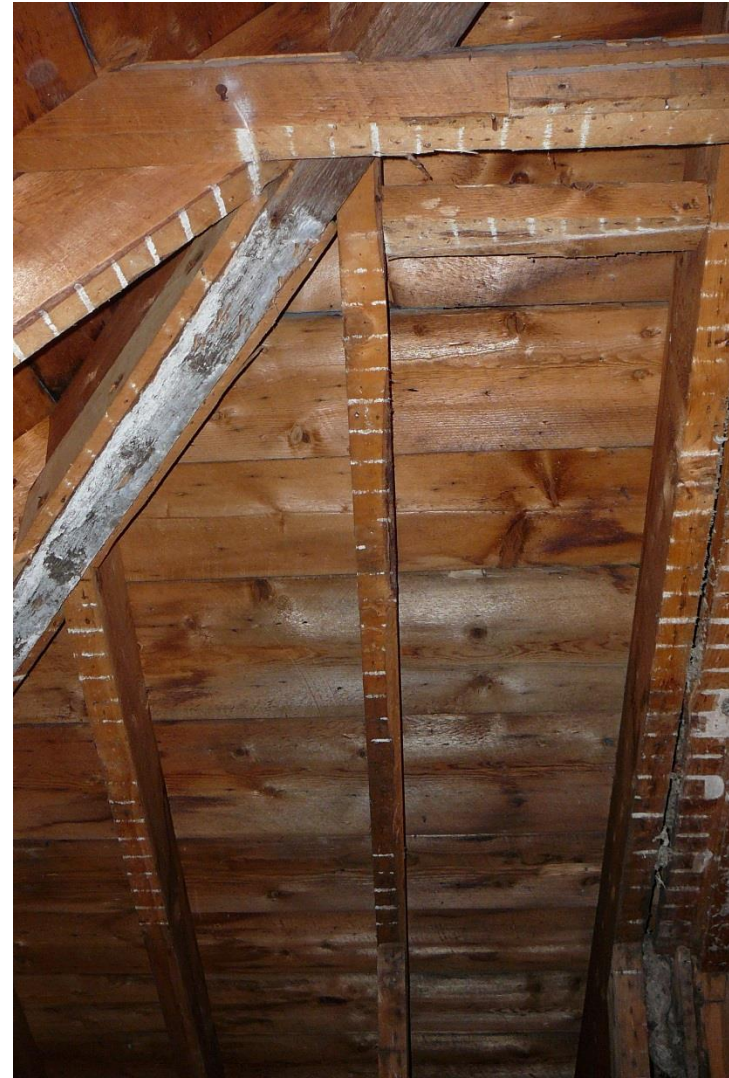


Figure 63. Attic floor roof structure, north rooms (A2/3), view up (Quinn 2017).



Figure 64. Attic floor roof structure, north rooms (A2/3), view southeast (Quinn 2017).

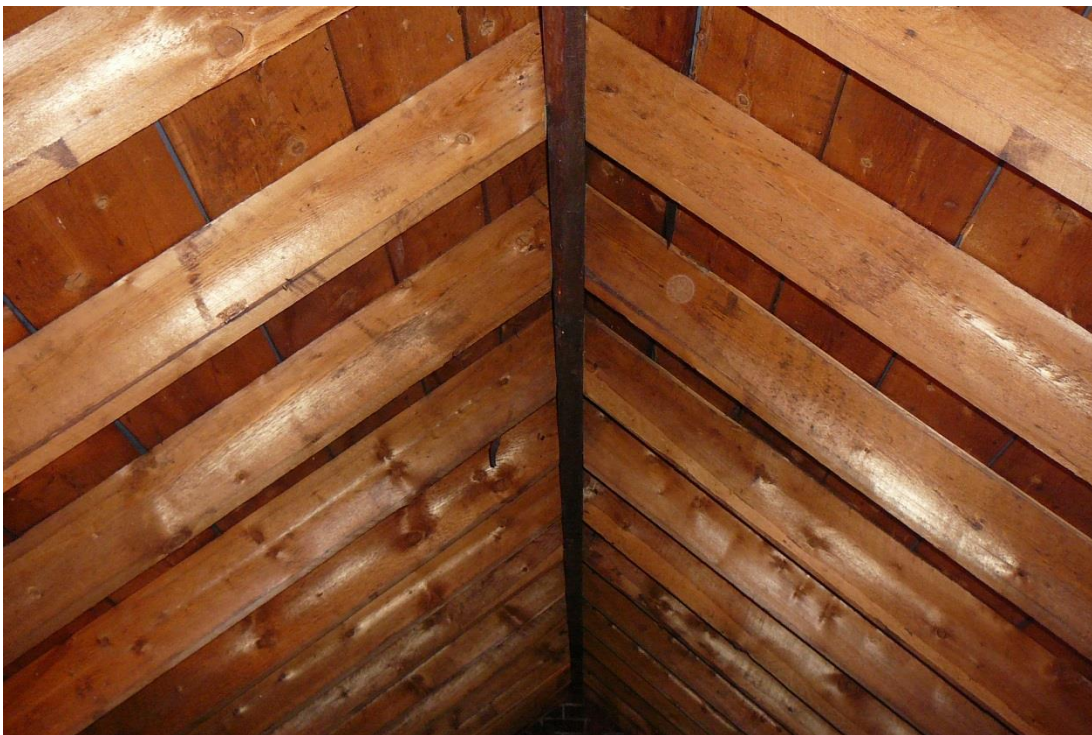


Figure 65. Attic floor roof structure, north rooms (A2/3), view up (Quinn 2017).



Figure 66. Attic floor roof structure, south room (A4), view south (Quinn 2017).



Figure 67. Attic floor roof structure, south room (A4) dormer, view south (Quinn 2017).



Figure 68. Attic floor roof structure, south room (A4), view southeast (Quinn 2017).

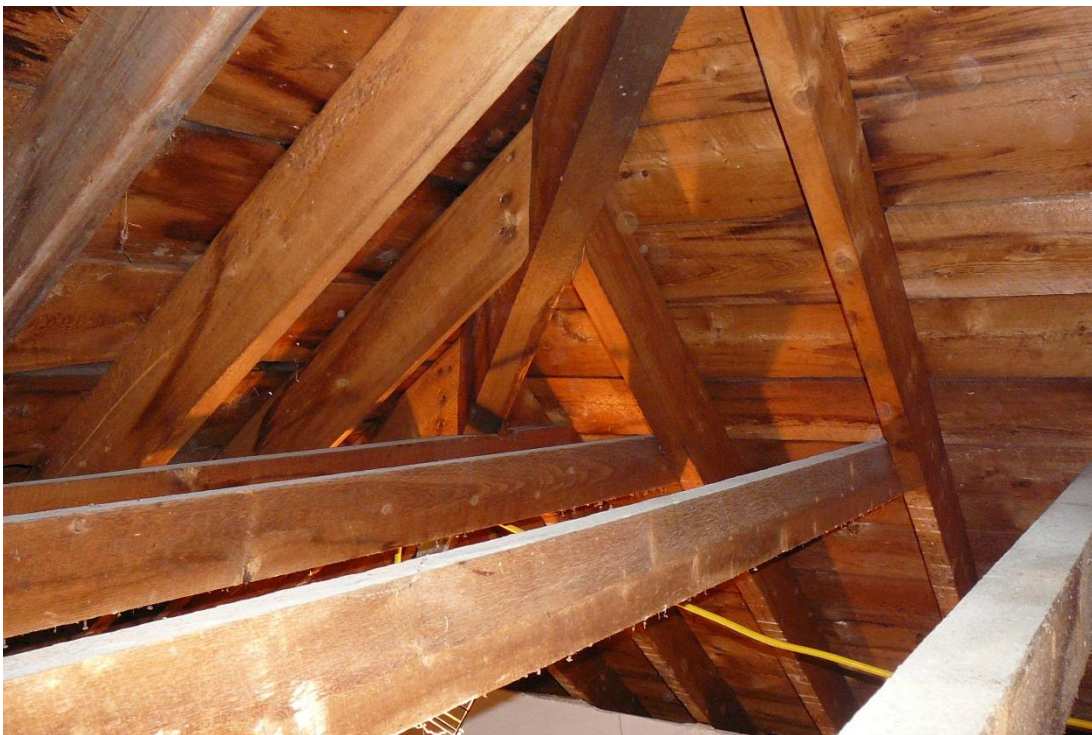


Figure 69. Attic floor roof structure, south room (A4), view southwest (Quinn 2017).



Figure 70. Attic floor roof structure, view south to chimney from north rooms (A2/3) (Quinn 2017).

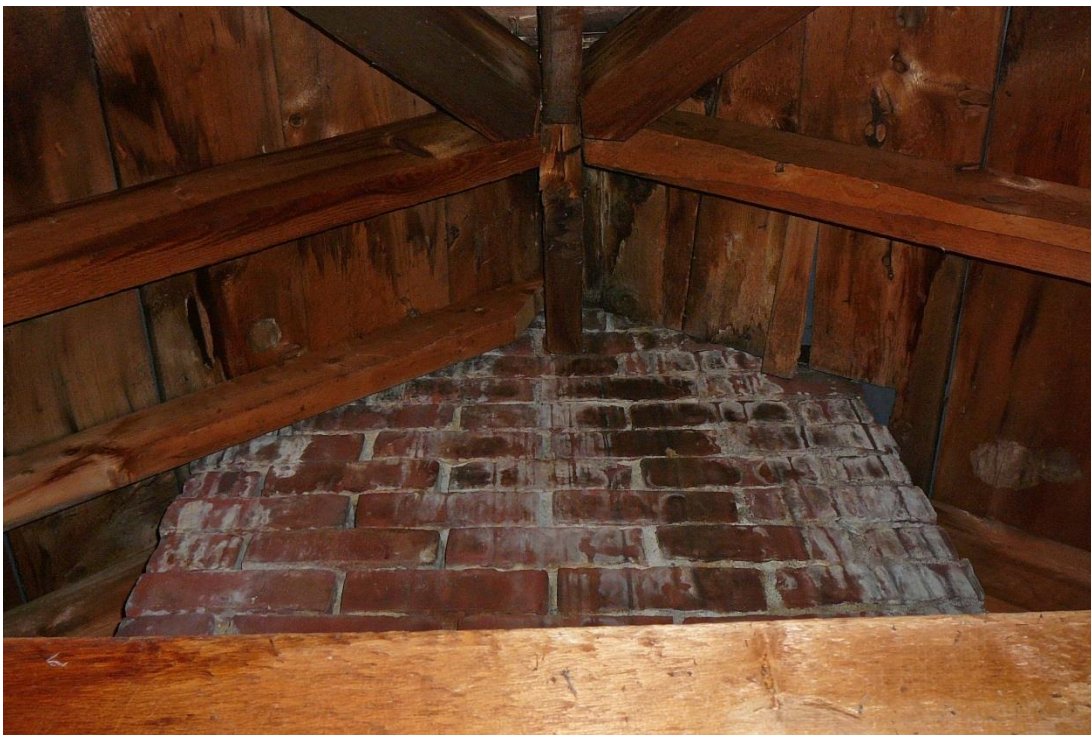


Figure 71. Attic floor roof structure, view up to chimney from south room (A4) (Quinn 2017).



Figure 72. Attic floor roof structure, stair hall (A1) west dormer, view west (Quinn 2017).



Figure 73. Attic floor roof structure, stair hall (A1) west dormer, view up (Quinn 2017).



Figure 74. Attic floor roof structure, stair hall (A1) east dormer, view southeast (Quinn 2017).



Figure 75. Attic floor roof structure, stair hall (A1) east dormer, view up (Quinn 2017).



Figure 76. Attic floor roof structure, stair hall (A1) view up in hallway (Quinn 2017).

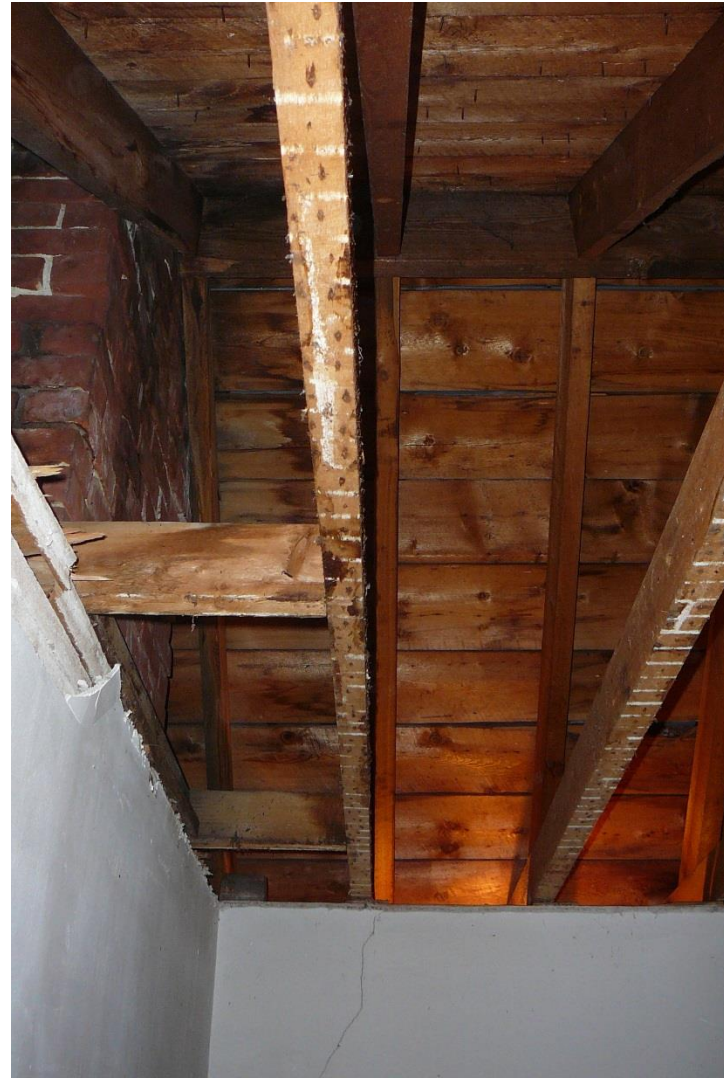


Figure 77. Attic floor roof structure, stair hall (A1) view up above stairway (Quinn 2017).

STATEMENT OF SIGNIFICANCE

The Colonial Revival style Manor House at Camp Songadeewin of Keewaydin was originally constructed ca. 1900 as a summer home for Frank C. Meehan, a wealthy casino owner from Hinesburg, Vermont. After Frank Meehan's death in 1906, his son Frank Jr. and wife Lillian operated the property as a summer resort until ca. 1925 when they sold the property and it became Camp Dunmore for Girls. The girl's camp remained active for many decades. It was sold in 1995 to the Keewaydin Foundation who operates Camp Keewaydin today. Up until its current rehabilitation, Keewaydin used the Manor House primarily for storage, and as space for two offices.

The Manor House remains in its original setting along the west shore of Lake Dunmore, and retains much of its historic fabric on both the exterior and interior. The exterior of the building has its original clapboard siding and trim, two-over-one double hung wood windows, wooden panel entrance doors with period hardware and transom windows, corbelled chimneys and wrap-around porch supported by Tuscan style Doric columns. The interior of the building is also primarily intact with rooms situated to the north and south of a three-story stair hall that has an oak staircase, decorative newel posts, molded railings and turned balusters. Rooms retain original wood flooring and baseboards, wooden panel doors with period hardware, the double hung windows with intact trim, and additional historic fabric such as an elaborate mantelpiece, wood panel pocket doors, various closets, wainscoting and crown molding. A related ca. 1900 former carriage barn, constructed in the same style, sits to the east of the Manor House and also remains mostly intact (Figures 78 and 79).

The Manor House, along with its related Carriage Barn, was part of a notable summer cottage period in the history of Lake Dunmore and Vermont in the late 19th and early 20th centuries, and the buildings continued on as an important part of children's summer camp development at the lake and in Vermont. The Manor House and Carriage Barn remain primarily intact and retain historic character, integrity of location, design, setting, materials, workmanship, feeling and association. Both buildings are listed in the Vermont State Register of Historic Places. Given its association with the late 1800s and early 1900s establishment of summer homes in the area, the Manor House and its associated Carriage Barn are considered a significant historic resource eligible for inclusion on the National Register of Historic Places under Criterion A, as an historic property associated with events that have made a significant contribution to the broad patterns of Vermont's history. They are also eligible under Criterion C for embodying the distinctive characteristics of the Colonial Revival architectural type and period.



Figure 78. View southeast of the west side of the former Carriage Barn (Peebles 2017).



Figure 79. View north of the south side of the former Carriage Barn (Sagerman 2017).

REFERENCES CITED

Sagerman, Paula

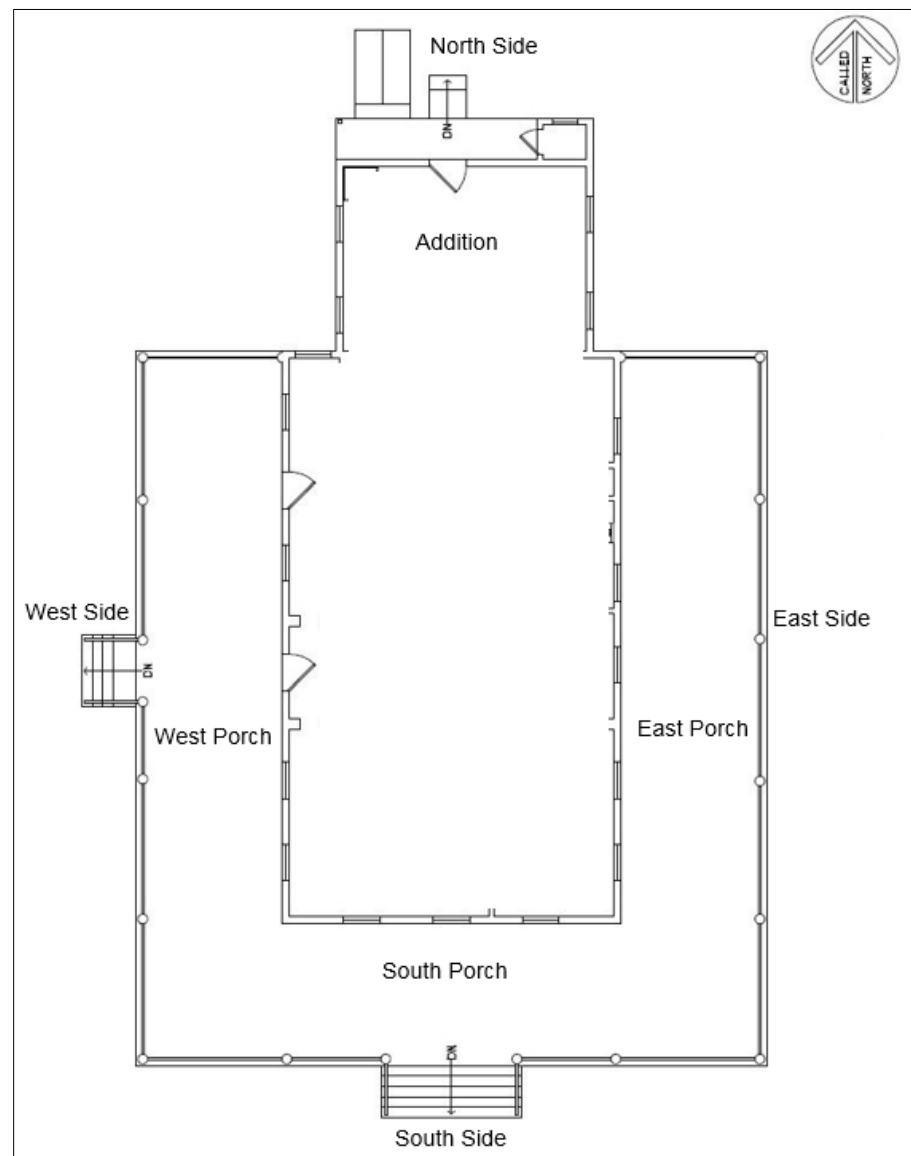
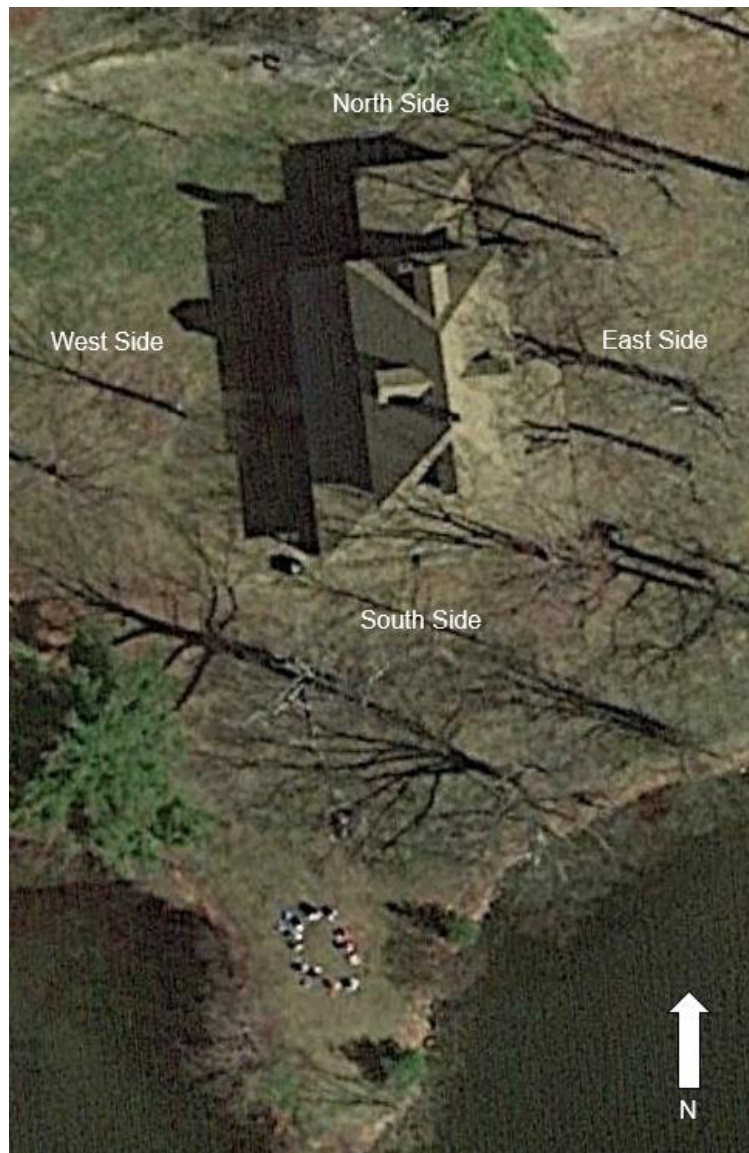
- 2017 *Act 250 Project Review Report: Manor House at Songadeewin of Keewaydin, 500 Rustic Lane, Salisbury, Addison County.* Prepared for Keewaydin Foundation and the Vermont Division for Historic Preservation, May 16, 2017.

Vermont Division for Historic Preservation

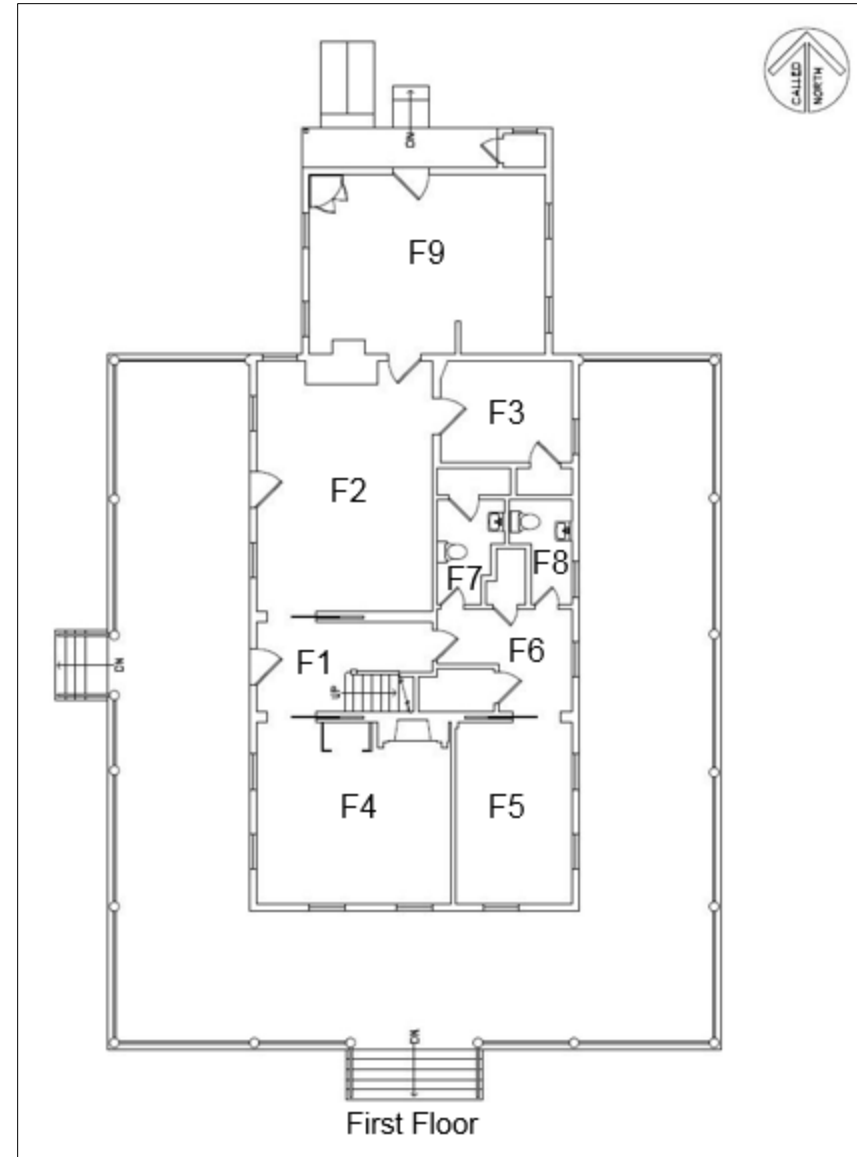
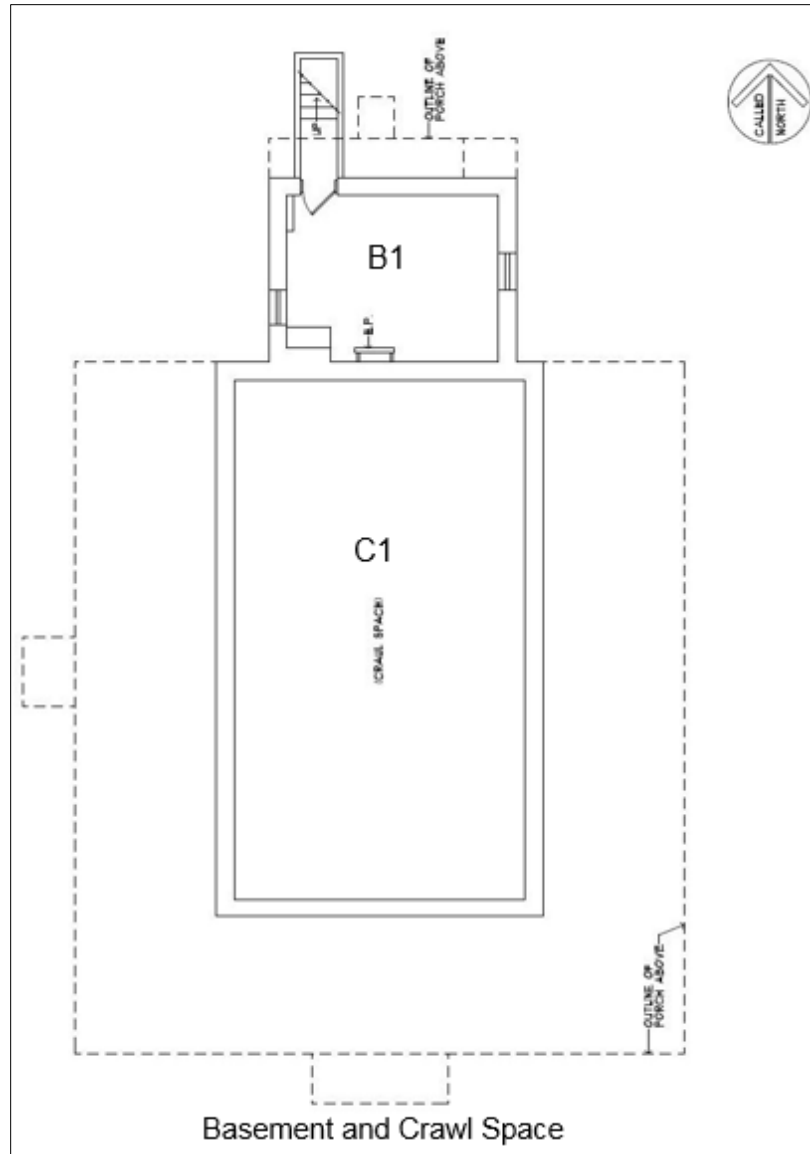
- 2017 “The Keewaydin Foundation, Manor House Rehabilitation at Camp Songadeewin, 148 Rustic Lane, Salisbury. Vermont: Act 250 Land use Permit Amendment #9A0325-2”. Comment letter to Geoffrey Green, District Coordinator, Act 250 District #9 Environmental Commission, February 16, 2017.
- 1992 *The Historic Architecture of Addison County: Vermont State Register of Historic Places.* Salisbury, Resource No. 49. Vermont Division for Historic Preservation, Montpelier.

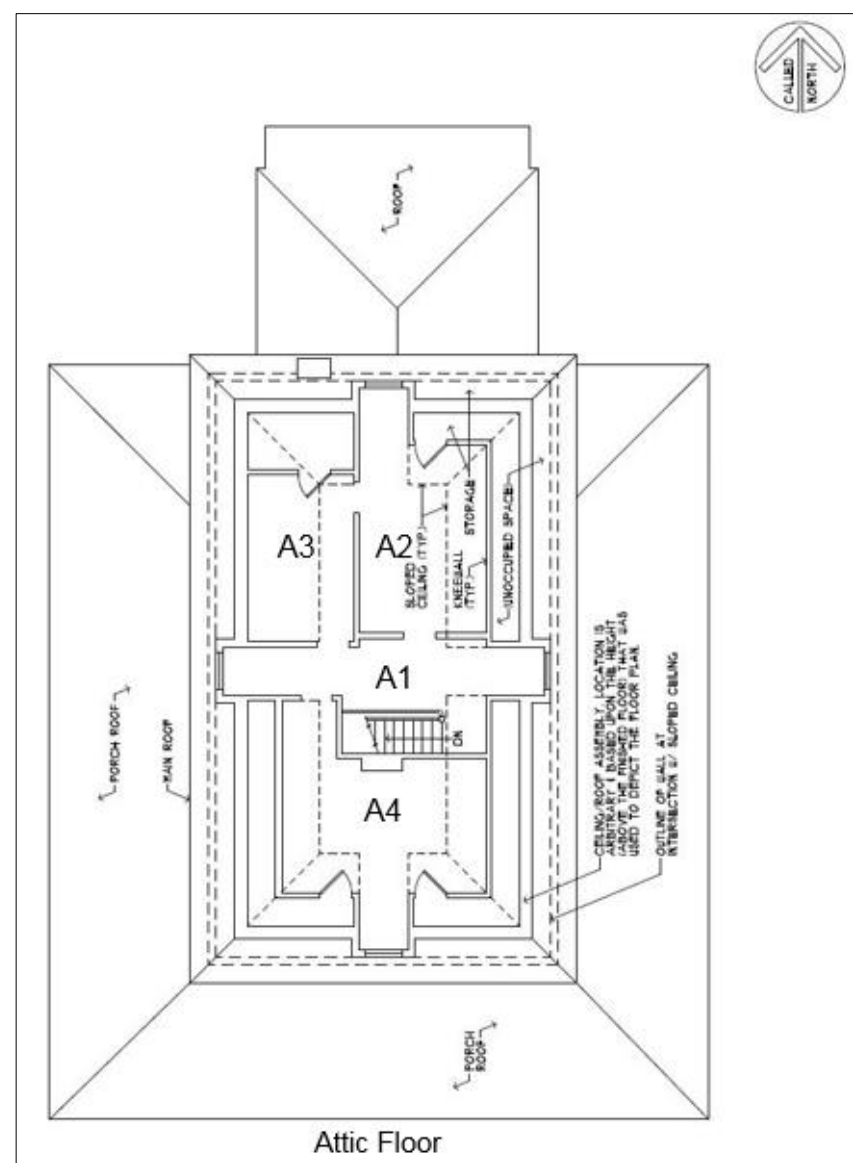
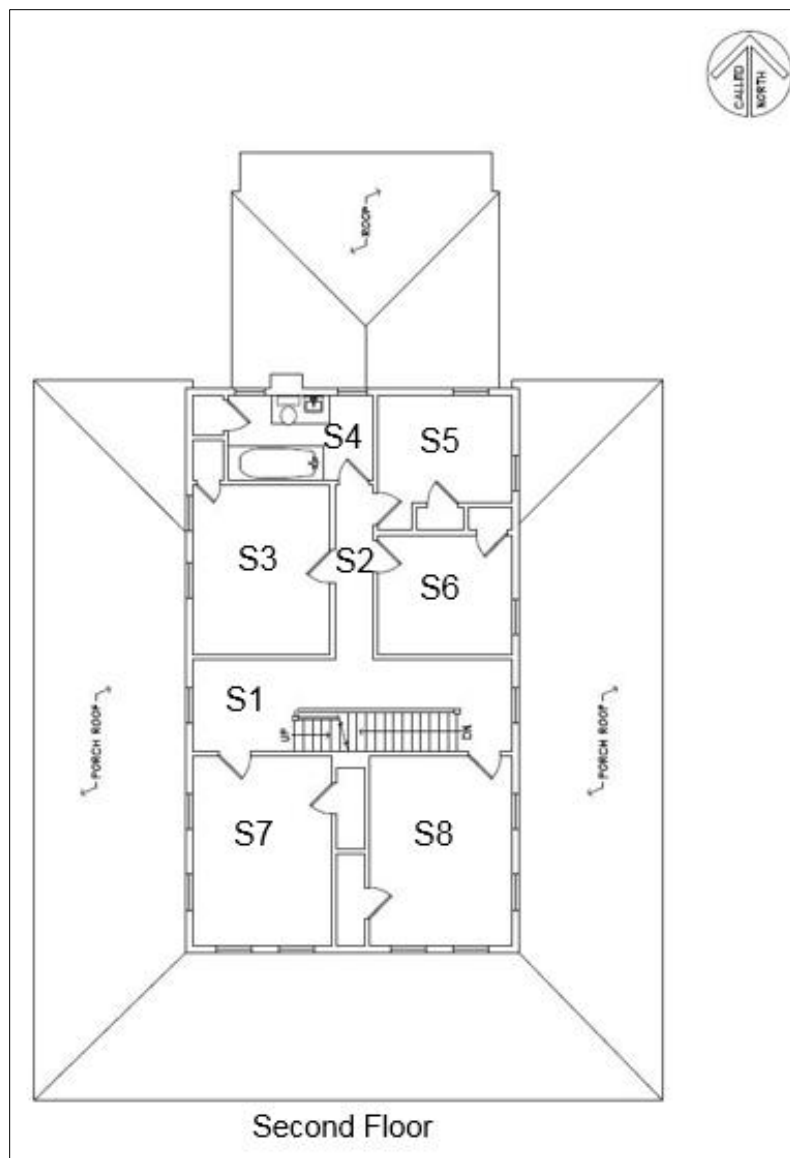
APPENDIX I: PHOTOGRAPH SKETCH MAPS AND INDEX

Manor House Exterior Sketch Map to Photograph Index



Manor House Interior Sketch Maps to Photograph Index





Camp Keewaydin Manor House Photograph Index












PHOTO #	IMAGE	DIRECTION	DESCRIPTION
01		Northeast	Lake Dunmore in foreground; Manor House located behind coniferous trees at center (Sagerman 2017)
02		East	Manor House; Lake Dunmore at background right (Peebles 2017)
03		Southwest	Manor House; Lake Dunmore at background left (Sagerman 2017)
04		Southwest	East side of the Manor House (Sagerman 2017)
05		Northeast	West side of the Manor House (Peebles 2017)
06		Northeast	South side of the Manor House (Sagerman 2017)
07		Southeast	North side of the Manor House (Sagerman 2017)
08		North	Manor House west porch (Sagerman 2017)
09		East	Manor House west porch columns and entry door (Sagerman 2017)
10		East	Manor House south porch (Nimtz 11/14/2017)
11		Detail	Manor House west porch main entry doorknob and plate (Nimtz 4/13/2016)












PHOTO #	IMAGE	DIRECTION	DESCRIPTION
12		Detail	Manor House north side chimney (Nimtz 4/13/2016)
13		Detail	Manor House porch skirt (Nimtz 3/21/2017)
14		Southeast	North and east sides of the Manor House during rehabilitation (11/14/2017)
15		Southeast	North addition of Manor House (Peebles 2017)
16		Detail	South (left) and east (right) dormers of Manor House (Sagerman 2017)
17		Detail	Basement (B1) under north addition of Manor House (Nimtz 4/13/16)
18		Detail	Crawl space (C1) under main block of Manor House (Nimtz 12/21/16)
19		Detail	Basement (B1) under north addition of Manor House (Nimtz 4/13/16)
20		East	First floor stair hall (F1) (Sagerman 2017)
21		West	First floor stair hall (F1) main entry door, (Sagerman 2017)
22		Southwest	First floor northwest room (F2) (Sagerman 2017)



PHOTO #	IMAGE	DIRECTION	DESCRIPTION
23		Northeast	First floor northwest room (F2) (Sagerman 2017)
24		Northwest	First floor northwest room (F2) entry door and window, during rehabilitation (Nimtz 10/24/2017)
25		North	First floor northwest room (F2) exposed fireplace, during rehabilitation (Nimtz 10/24/2017)
26		East	First floor, view from northwest room (F2) into northeast room (F3) (Nimtz 12/21/2016)
27		Southeast	First floor southern rooms, southwest (F4) at right and southeast (F5) at left, during rehabilitation (Nimtz 11/14/2017)
28		Northwest	First floor southwest room (F4) (Sagerman 2017)
29		Northeast	First floor southwest room (F4) fireplace, during rehabilitation (Nimtz 10/24/2017)
30		South	First floor southeast room (F5) (Sagerman 2017)
31		East	First floor east stair hall room (F6) (Sagerman 2017)
32		North	First floor bathroom (F7) (Sagerman 2017)
33		Southeast	First floor north addition (F9) (Sagerman 2017)












PHOTO #	IMAGE	DIRECTION	DESCRIPTION
34		North	First floor north addition (F9) (Nimtz 12/21/2016)
35		Southeast	First floor north addition (F9) (Nimtz 12/21/2016)
36		East	First floor stair hall (F1) stairway (Sagerman 2017)
37		Detail	First floor southwest room (F4) fireplace mirror (Peebles 2017)
38		Detail	First floor southwest room (F4) fireplace mantel (Peebles 2017)
39		Northeast	First floor southwest room (F4) fireplace mantel (Nimtz 10/24/2017)
40		Detail	First floor northwest room (F2) window panel (Nimtz 12/21/2017)
41		Northeast	First floor north addition (F9), during rehabilitation (Nimtz 11/14/2016)
42		East	Toilet tank in in small room on north side of first floor north addition (F9) (Nimtz 10/31/2017)
43		Detail	Wallpaper in first floor northwest room (F2), during rehabilitation (Nimtz 10/24/2017)
44		West	Second floor stair hall (S1) (Sagerman 2017)



PHOTO #	IMAGE	DIRECTION	DESCRIPTION
45		East	Second floor stair hall (S1) (Sagerman 2017)
46		North	Second floor hallway (S2) (Sagerman 2017)
47		South	Second floor hallway (S2) (Sagerman 2017)
48		Northwest	Second floor northwest bedroom (S3) (Sagerman 2017)
49		West	View from second floor northwest bedroom (S3), across hallway (S2) and into east center bedroom (S6) (Sagerman 2017)
50		Northwest	Second floor bathroom (S4) (Sagerman 2017)
51		Southeast	Second floor bathroom (S4) (Sagerman 2017)
52		Northwest	Second floor bathroom (S4) (Peebles 2017)
53		Southwest	Second floor northeast bedroom (S5) (Sagerman 2017)
54		Northeast	Second floor southeast bedroom (S7) (Sagerman 2017)
55		South	Second floor southeast bedroom (S7) (Peebles 2017)

PHOTO #	IMAGE	DIRECTION	DESCRIPTION
56		Detail	Second floor stair hall (S1) floor (Nimtz 12/21/2016)
57		Detail	Second floor bathroom (S4) bathtub (Peebles 2017)
58		West	View down stairway from attic floor to second floor (Sagerman 2017)
59		Southeast	Attic floor stair hall (A1) (Sagerman 2017)
60		East	Attic floor stair hall (A1) (Sagerman 2017)
61		Northwest	Attic floor stair hall (A1) (Sagerman 2017)
62		North	Attic floor northeast room (A2) (Sagerman 2017)
63		North	Attic floor northwest room (A3) (Sagerman 2017)
64		Southwest	Attic floor south room (A4) (Sagerman 2017)
65		Southwest	Attic floor south room (A4) (Sagerman 2017)
66		Southeast	Attic floor south room (A4) (Nimtz 4/13/2016)

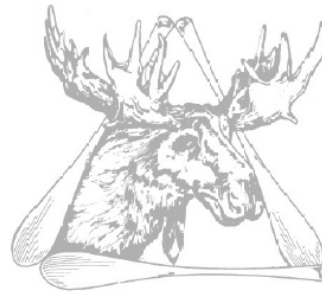
PHOTO #	IMAGE	DIRECTION	DESCRIPTION
67		Detail	Attic floor south room (A4) window weight, during rehabilitation (Quinn 2017)
68		Detail	Upper story window cord (Nimtz 12/21/2016)
69		Detail	Upper story window lock (Nimtz 12/21/2016)
70		North	Attic floor roof structure, north rooms (A2/3) dormer (Quinn 2017)
71		Northwest	Attic floor roof structure, north rooms (A2/3) dormer (Quinn 2017)
72		Up	Attic floor roof structure, north rooms (A2/3) dormer (Quinn 2017)
73		Up	Attic floor roof structure, north rooms (A2/3) (Quinn 2017)
74		Southeast	Attic floor roof structure, north rooms (A2/3) (Quinn 2017)
75		Up	Attic floor roof structure, north rooms (A2/3) (Quinn 2017)
76		South	Attic floor roof structure, south room (A4), (Quinn 2017)
77		South	Attic floor roof structure, south room (A4) dormer (Quinn 2017)

PHOTO #	IMAGE	DIRECTION	DESCRIPTION
78		Southeast	Attic floor roof structure, south room (A4) (Quinn 2017)
79		Southwest	Attic floor roof structure, south room (A4) (Quinn 2017)
80		South	Attic floor roof structure from north rooms (A2/3) (Quinn 2017)
81		Up	Attic floor roof structure, view up to chimney from south room (A4) (Quinn 2017)
82		West	Attic floor roof structure, stair hall (A1) west dormer (Quinn 2017)
83		Up	Attic floor roof structure, stair hall (A1) west dormer (Quinn 2017)
84		Southeast	Attic floor roof structure, stair hall (A1) east dormer (Quinn 2017)
85		Up	Attic floor roof structure, stair hall (A1) east dormer (Quinn 2017)
86		Up	Attic floor roof structure, stair hall (A1) view up in hallway (Quinn 2017)
87		Up	Attic floor roof structure, stair hall (A1) view up above stairway (Quinn 2017)
88		Southeast	West side of the former Carriage Barn (Peebles 2017)

PHOTO #	IMAGE	DIRECTION	DESCRIPTION
89		North	South side of the former Carriage Barn (Sagerman 2017)





APPENDIX II: MANOR HOUSE REHABILITATION PLANS

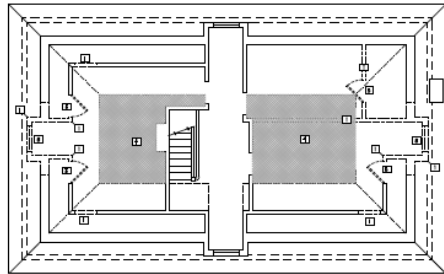
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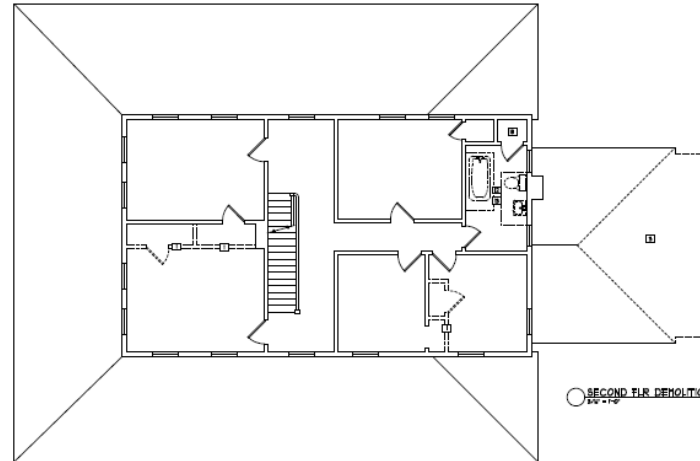
Keewaydin Manor House

500 Rustic Lane Salisbury, VT

 <p>34 US Center St Rutland, Vermont 05701 Phone: 802-775-5189 Fax: 775-4885 email: info@nbfarchitects.com</p>	<p>SELLERS TRUHAL</p>  <p>STRUCTURAL ENGINEERS 877 Main Street Vermont, VT 05405 802-887-2714 www.STS-Engineers.com</p>	 <p>ROUTE MOOSEHEAD, VT PHONE - 802.454.4645 FAX - 802.454.4601</p>	<p>AMG ELECTRICAL DESIGN</p> <p>802-476-9432 310 WINDYWOOD ROAD BARRE, VERMONT 05641</p>	 <p>1000 Otter Creek Road Rutland VT 05701 Telephone 802-745-5555 Fax 802-745-5555</p>
<p>D1 DEMOLITION PLANS A1 BASEMENT & FIRST FLOOR PLANS A2 SECOND & THIRD FLOOR PLANS A3 WALL SECTIONS & DETAILS A4 ELEVATIONS A6 SCHEDULES & DETAILS</p>	<p>S0 GENERAL NOTES, BASIS OF DESIGN S1 SECTIONS AND DETAILS S2 FOUNDATION & PLUMBING PLANS</p>	<p>M MECHANICAL BASEMENT PLAN M1 MECHANICAL FIRST FLOOR PLAN M2 MECHANICAL SECOND FLOOR PLAN M3 MECHANICAL THIRD FLOOR PLAN</p>	<p>E1 ELECTRICAL FIRST FLOOR LIGHTING E2 ELECTRICAL SECOND & THIRD FLOOR LIGHTING E3 ELECTRICAL FIRST FLOOR POWER E4 ELECTRICAL SECOND & THIRD FLOOR POWER E5 ELECTRICAL BASEMENT PLAN E6 ELECTRICAL SCHEDULES, SCHEDULES</p>	<p>C1 SITE PLAN, NOTES AND DETAILS C2 SITE PLAN</p>



THIRD FLOOR DEMOLITION
33' x 17'

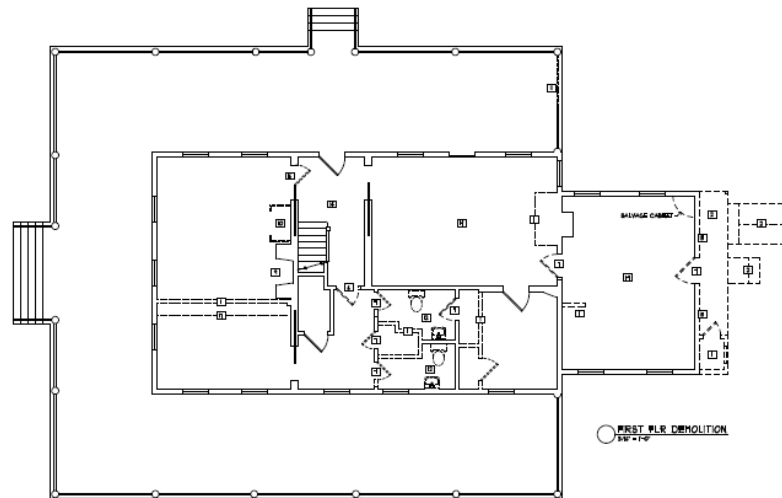


SECOND FLOOR DEMOLITION
33' x 17'

GENERAL DEMOLITION NOTES
 REMOVE ROOMS TO EXPOSE STRUCTURE.
 EXPOSE EXISTING STRUCTURE.
 REMOVE EXISTING CEILING, FLOOR, WALL, ROOF, AND EXTERIOR FINISHES.
 EXCEPT AS NOTED, ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

KEYED DEMOLITION NOTES

1. REMOVE EXISTING ROOF, EXPOSE ROOF STRUCTURE, REMOVE ROOF FINISHES.
2. REMOVE EXISTING ROOF, EXPOSE ROOF STRUCTURE, REMOVE ROOF FINISHES.
3. EXISTING ROOF IS TO BE REMOVED AND REPLACED WITH A NEW ROOF SYSTEM.
4. REMOVE EXISTING ROOF, EXPOSE ROOF STRUCTURE, REMOVE ROOF FINISHES.
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18. REMOVE EXISTING ROOF, EXPOSE ROOF STRUCTURE, REMOVE ROOF FINISHES.



FIRST FLOOR DEMOLITION
33' x 17'

N.B.F.
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 BARRE, VERMONT 05641

STELLERS TREVISA
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 STRUCTURAL ENGINEERS

Naylor & Breen Builders, Inc.
 191 Alta Woods
 Brandon, Vermont 05733
 802-247-4627

Alterations to:
Keewaydin
Manor House
 500 Rustic Lane
 Salisbury, Vermont

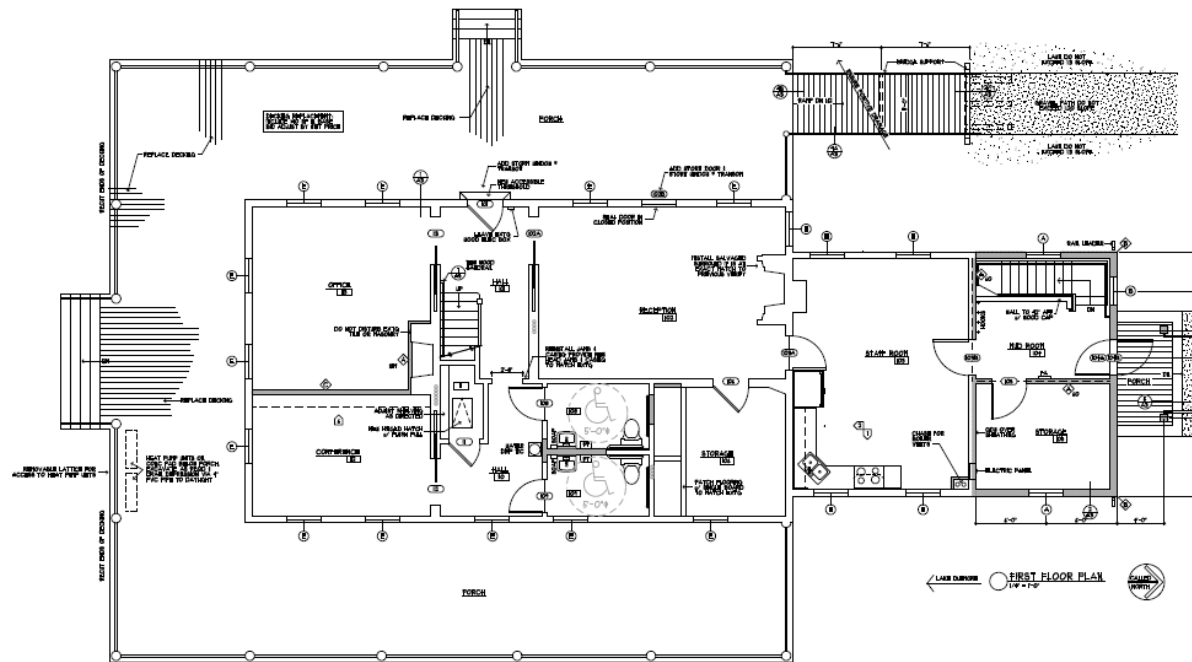
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PLANS

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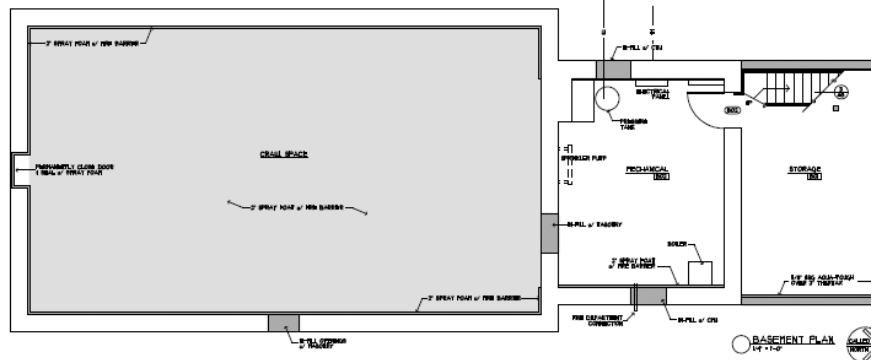


LEGEND & NOTES

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100. CONSTRUCTION AND FINISHES TO BE REMOVED

BUILDING CODE INFORMATION

SECTION	REMARKS	REMARKS
GENERAL	SEE SHEET 101 FOR GENERAL NOTES	SEE SHEET 101 FOR GENERAL NOTES
FOUNDATION	SEE SHEET 102 FOR FOUNDATION NOTES	SEE SHEET 102 FOR FOUNDATION NOTES
FLOORING	SEE SHEET 103 FOR FLOORING NOTES	SEE SHEET 103 FOR FLOORING NOTES
WALLS	SEE SHEET 104 FOR WALL NOTES	SEE SHEET 104 FOR WALL NOTES
CEILING	SEE SHEET 105 FOR CEILING NOTES	SEE SHEET 105 FOR CEILING NOTES
DOORS	SEE SHEET 106 FOR DOOR NOTES	SEE SHEET 106 FOR DOOR NOTES
WINDOWS	SEE SHEET 107 FOR WINDOW NOTES	SEE SHEET 107 FOR WINDOW NOTES
STAIRS	SEE SHEET 108 FOR STAIR NOTES	SEE SHEET 108 FOR STAIR NOTES
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Naylor & Breen Builders, Inc.
191 Alta Woods
Brandon, Vermont 05733
802-447-4527

Alterations to:
Keewaydin Manor House
500 Rustic Lane
Salisbury, Vermont

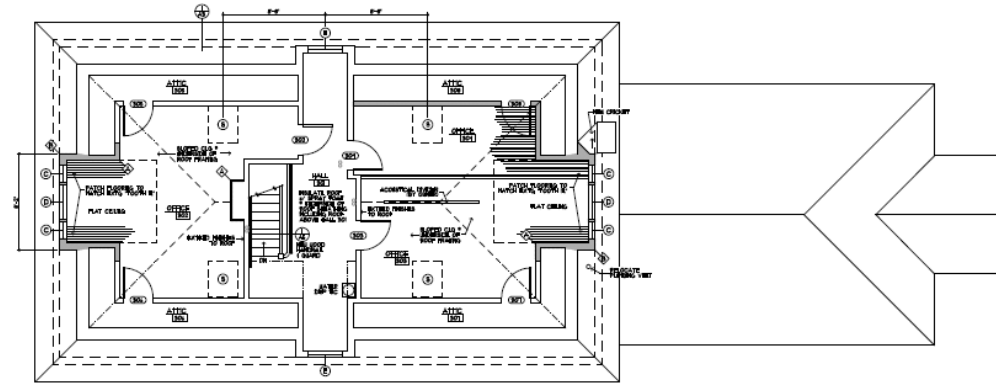
4/1/11
4/23/11
5/1/11
5/8/11
5/11/11
5/11/11

BASEMENT I
FIRST FLOOR
PLANS

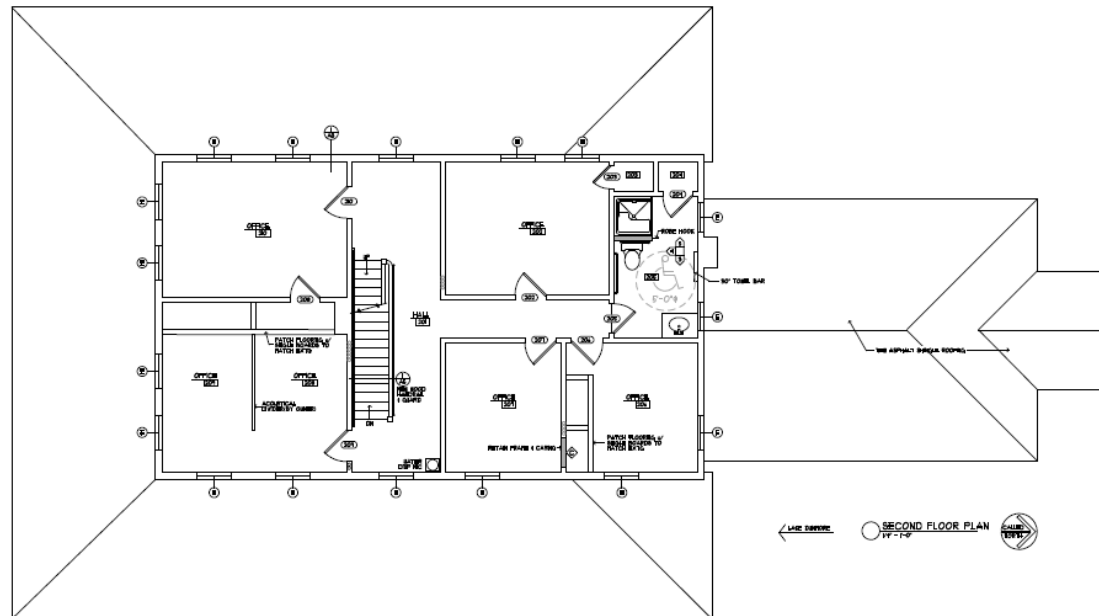
Working Title

A1

Working Number
Job No. Number
Date



← LANE DIRECTION
 ○ THIRD FLOOR PLAN
 1/4" = 1'-0"
 SCALE NORTH



← LANE DIRECTION
 ○ SECOND FLOOR PLAN
 1/4" = 1'-0"
 SCALE NORTH

N.B.F.
 ARCHITECTS

24 1/2 Center St. Keene, Vermont 05701
 Phone: 802 733-1108



ICE
 INNOVATIVE
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 ENGINEERING
 EAST CALAIS, VERMONT
 PHONE - 802.454.4045

**AMG
 ELECTRICAL
 DESIGN**

802-476-6432
 310 WINDYWOOD ROAD
 BARRE, VERMONT 05641

SELLERS TREYBAL

sts
 STRUCTURAL ENGINEERS

BUILDER

 Naylor & Breen Builders, Inc.
 191 Alta Woods
 Brandon, Vermont 05733
 802-241-6527

Alterations to:
**Keewaydin
 Manor House**
 500 Rustic Lane
 Salisbury, Vermont

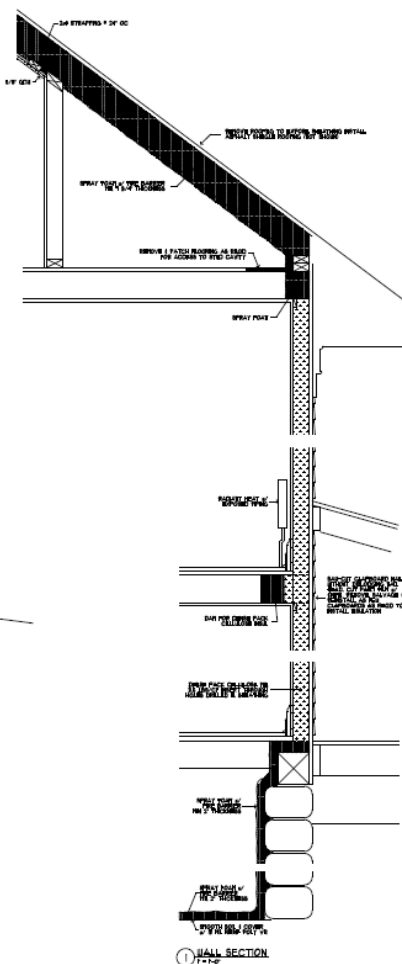
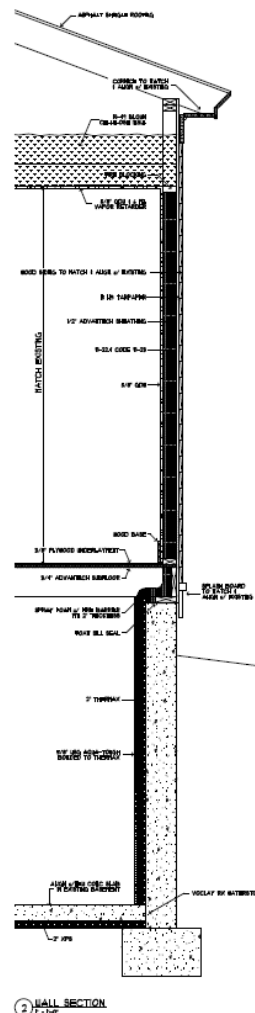
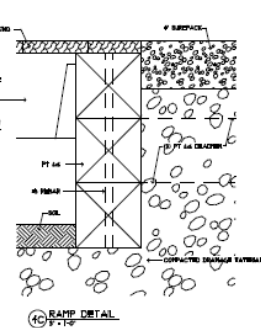
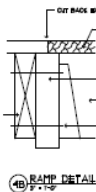
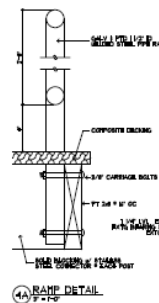
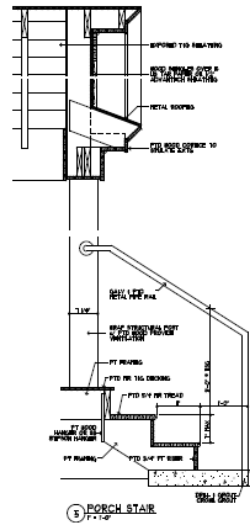
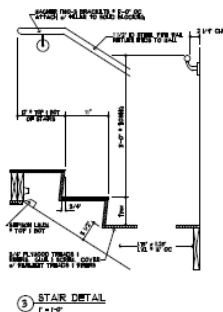
4/14/11
 4/26/11
 5/4/11
 5-8-11
 This
 SECOND & CONSTRUCTION
 PERMIT SUBMITTAL
 VCMF REVIEW
 PROGRAM
 Issued For

SECOND & THIRD
 FLOOR PLANS

Drawing Title

A2

Drawing Number
 Job No. Number 1408
 1/10/2011 10:10 PM



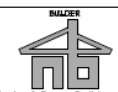
N·B·F
ARCHITECTS
24 1/2 Center St. Rutland, Vermont 05701
Phone: 802 735-3168



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ENGINEERING
EAST CALAIS, VERMONT
VOICE - 802.454.4845

AMG
ELECTRICAL
DESIGN
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310 WINDYWOOD ROAD
BARRE, VERMONT 05641

SELLERS TREYDAL
sts
STRUCTURAL ENGINEERS



Naylor & Breen Builders, Inc.
191 Alta Woods
Brandon, Vermont 05733
802-247-6527

Alterations to:
**Keewaydin
Manor House**
500 Rustic Lane
Salisbury, Vermont

4/14/11	BIDDING & CONSTRUCTION
4/25/11	PERMIT SUBMITTAL
3/4/11	VDPF REVIEW
2/8/11	PROGRESS
1/10/11	PROGRESS
Date	Issued For

WALL SECTIONS
DETAILS

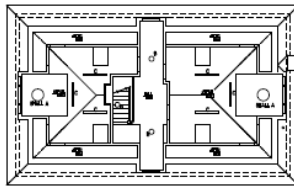
Drawing Title

A3

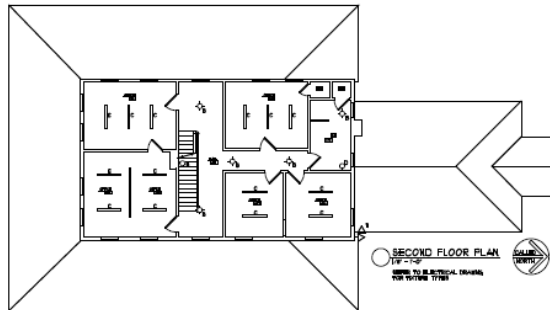
During Week

4/28/2017 3:08 PM

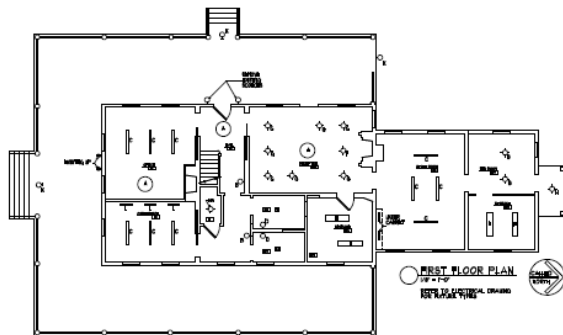
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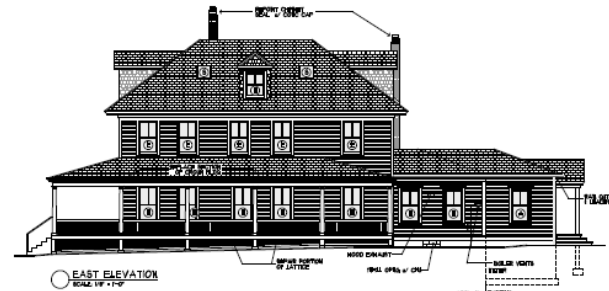
○ THIRD FLOOR PLAN
1/8" = 1'-0"
NOT TO SCALE, DRAWING
DATE 10/10/10



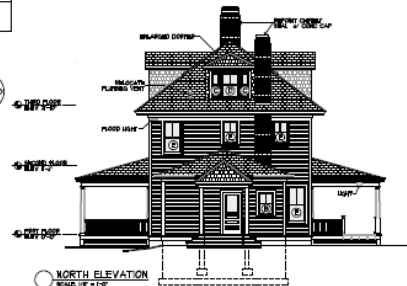
○ SECOND FLOOR PLAN
1/8" = 1'-0"
NOT TO SCALE, DRAWING
DATE 10/10/10



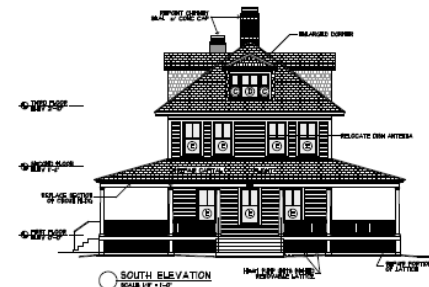
○ FIRST FLOOR PLAN
1/8" = 1'-0"
NOT TO SCALE, DRAWING
DATE 10/10/10



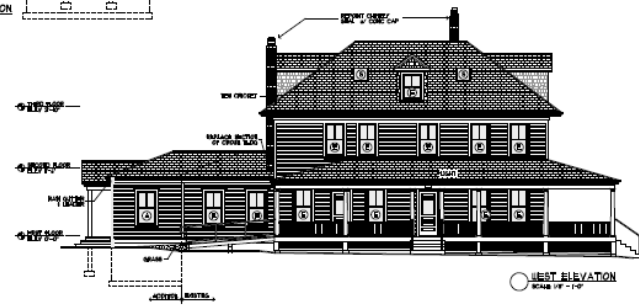
○ EAST ELEVATION
SCALE 1/8" = 1'-0"



○ NORTH ELEVATION
SCALE 1/8" = 1'-0"



○ SOUTH ELEVATION
SCALE 1/8" = 1'-0"



○ WEST ELEVATION
SCALE 1/8" = 1'-0"

GENERAL EXTERIOR NOTES:
1. EXTERIOR WALLS TO BE 16" CMU WITH 1" REINFORCING BARS.
2. EXTERIOR WALLS TO BE 16" CMU WITH 1" REINFORCING BARS.
3. EXTERIOR WALLS TO BE 16" CMU WITH 1" REINFORCING BARS.

N.B.F.
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24 1/2 Center St. Rutland, Vermont 05701
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sts
STRUCTURAL ENGINEERS

BUILDER
Naylor & Breen Builders, Inc.
191 Alta Woods
Brandon, Vermont 05733
802-247-4527

Attention to:
**Keewaydin
Manor House**
500 Rustic Lane
Salisbury, Vermont

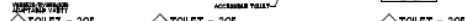
4/14/11
4/28/11
5/4/11
5-8-11
Date
BEDDING 1 CONSTRUCTION
FOOTING SUBMITTAL
VEMP REVIEW
PROGRESS
Jared Poir

ELEVATIONS

Drawing Title

A4

Drawing Number
Job File Number: 1008
10/10/10 10:00 AM



ABBREVIATIONS	GENERAL PRINCIPLES	DATE	TIME
WITH REFERENCE TO FORMS 1. ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE 2. DATE OF REVIEW 3. BY 4. CLEAR STATE AS DIRECTED	ALL RECORDS CONTAINED HEREIN ARE PART OF THE CONTINUING DECLASSIFICATION PROCESS 1. DATE OF REVIEW 2. BY 3. CLEAR STATE AS DIRECTED	11/17/2000 10:00 AM (MST)	

SYMBOL	DESCRIPTION	QUANTITY
1	DOOR DOOR HINGES	100
2	DOOR DOOR HINGES	100
3	DOOR DOOR HINGES	100
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98	DOOR DOOR HINGES	100
99	DOOR DOOR HINGES	100
100	DOOR DOOR HINGES	100

DOOR ORS PROVEN MANUFACTURER'S STAMPED REG. LATCH & CLOSURE

PROVIDE PROTECT SCREENS FOR ALL OPENINGS BASED ON ELEVATIONS ABOVE FOR TYPE C CURB

A5

ALL STRUCTURAL WORK SHALL CONFORM TO THE PROJECT SPECIFICATIONS, DRAWINGS AND THE 2010 INTERNATIONAL BUILDING CODES AND ALL BUILDING APPLICABLE.

IN THE CASE OF A CONFLICT BETWEEN THE DRAWINGS, SPECIFICATIONS OR NOTICES ON THE DRAWINGS, THE DRAWINGS SHALL BE NOTICED TO RESOLVE THE DISCREPANCY.

CONTRACTOR SHALL COORDINATE ALL STRUCTURAL WORK WITH RELATED TRADES AND WITH ADJACENT, EXISTING AND MECHANICAL REQUIREMENTS OF PROJECT TO SUBMITTING SHOP DRAWINGS FOR APPROVAL. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.

DEVIATIONS OR CHANGES FROM THE APPROVED DESIGN AND RELEASED FOR PRODUCTION SHOP DRAWINGS SHALL NOT BE PERMITTED WITHOUT THE APPROVAL OF THE STRUCTURAL ENGINEER. SUBMIT AND PROVIDE CHANGES TO THE ENGINEER FOR REVIEW AND APPROVAL.

THE STRUCTURAL ELEMENTS OF THE PROJECT ARE DESIGNED FOR THE SPECIFIED VERTICAL AND LATERAL LOADS. CONTRACTOR SHALL NOT EXCEED THE DESIGN LOADS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DESIGN LOADS AND THE STABILITY AND SAFETY OF THE PARTIALLY COMPLETED STRUCTURE AND FOR PROVIDING CONNECTIONS THAT EXCEED THE SPECIFIED DESIGN LOADS.

NOTHING IN THIS SECTION SHALL BE INTERPRETED TO LIMIT THE LIABILITY OF THE ENGINEER.

THE ENGINEER PROVIDES RECOMMENDATIONS TO THE STRUCTURAL DRAWINGS ARE BASED ON THE INFORMATION PROVIDED UNLESS OTHERWISE NOTED.

DETAILS RELEASED: TYPICAL DETAIL ON THE DRAWINGS SHALL BE USED FOR ALL SITUATIONS DESCRIBED ON THE PROJECT. THAT THE SAME OR SIMILAR TO THOSE SPECIFICALLY TYPICAL. THE APPLICATION OF THE TYPICAL DETAIL IS NOT BE USED FOR ANY OTHER TYPE OF TYPICAL DETAIL. DETAIL TYPICAL DETAIL SHALL BE EITHER NOTED OR NOTED AND NOTED AT THE DISCRETION OF THE ENGINEER.

[illegible]

1. BACKFILL BELOW FOOTINGS:
 - 2.1 MATERIAL: MIN. 1" LAYER OF 3/4" CRUSHED STONE BACKFILL IF OVERSATURATION OR WATER IS ENCOUNTERED
2. BACKFILL ALONG EXTERIOR OF BUILDING AT BASEMENT WALLS:
 - 2.1 MATERIAL: COMPACTED GRANULAR BACKFILL
 - 2.2 COMPACTION: 90% MODIFIED PROCTOR
 - 2.3 TESTING: EVERY 1,000 SF

STRUCTURAL GRANULAR BACKFILL (AASHTO T99)		
SIZE DESIGNATION	% BY WEIGHT PASSING SIEVES	
3/8 INCH	100	
NO. 4	65-75	
NO. 10	0-12	
NO. 200	0-6	

3/4" CRUSHED STONE (AASHTO T99)		
SIZE DESIGNATION	% BY WEIGHT PASSING SIEVES	
1 INCH	100	
3/4 INCH	90-100	
3/8 INCH	30-65	
NO. 4	0-10	
NO. 8	0-5	

GENERAL COMMENTS: CONFORM WITH THE PROVISIONS OF THE LATEST EDITIONS OF

1. AASHTO BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE

2. AASHTO BRIDGE REQUIREMENTS FOR ENVIRONMENTAL DESIGNING CONCRETE STRUCTURE

3. AASHTO SPECIFICATIONS FOR STRUCTURAL CONCRETE

4. AASHTO M 301 REPAIRED CONCRETE

5. AASHTO STANDARD SPECIFICATION FOR CEMENT CONCRETE

6. AASHTO STANDARD SPECIFICATION FOR CEMENT

7. PRIOR TO PLACING OF CONCRETE, SUBMIT TO ENGINEER A DESIGN INCLUDING TOLERANCE DATA SHEETS OR ANY ADJUSTMENTS TO BE USED.

8. ALL MEASUREMENTS AND OTHER DATA, NOT DESIGN OR HISTORIC FIELD DATA FOR APPROVAL, IN ACCORDANCE WITH AASHTO M 301 CHAPTER 1.

9. CONCRETE MIXES:

LOCATION	R/C RATIO	DENSITY	AUG.	AS	SUMP	W/C	NOTES
WALLS, FOOTING, PILES	0.500	140 PCF	±	40%	2" / 0	0.45	
INTERIOR SLAB (W/DRIVE)	0.500	140 PCF	±	2" / 0	2" / 0	0.45	
EXTERIOR SLAB AND SIDEWALKS	4.500	140 PCF	±	40%	2" / 0	0.45	

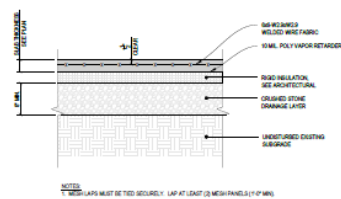
10. TRANSIT MIX SHALL CONFORM TO ASTM C 94

[illegible][illegible]

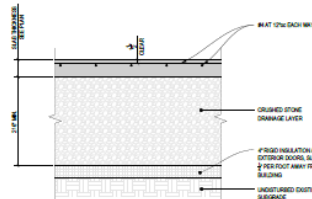
1	BUILDING CODE: 2015 MINIMUM FIRE AND BUILDING SAFETY CODE (BASED ON INTERNATIONAL BUILDING CODE)	
2	DECK LOADS	
3	1. ROOF DEAD LOAD	15 PSF (WOOD FLOOR)
4	2. ROOF LIVE LOAD	15 PSF (WOOD FLOOR)
5	LIVE LOADS	
6	1. ROOF LIVE LOAD	30 PSF (WOOD FLOORING)
7	2. OFFICES	50 PSF
8	3. EXTERIOR WALKWAYS AND DECKS	10 PSF
9	ROOF RAIN LOAD	
10	1. UNPEAKED RAIN LOAD, PG	50 PSF
11	2. FLAT ROOF RAIN LOAD, PG	50 PSF
12	3. SLOPED ROOF RAIN LOAD, PG	10
13	4. WIND-INDUCED FACTOR, IS	1.0
14	5. EXPOSURE CATEGORY, CT	1.0
15	WIND SPEED DATA	
16	1. 3 SECONDS DESIGN WIND SPEED, V	115 MPH
17	2. BASIC COEFFICIENT	0.9
18	3. WIND PROFILES	G
19	4. WIND RETURNING PERIODS	50 YEARS INCLUDED
20	5. COMPONENTS AND CLADDING WIND PRESSURE	FOR ANCHOR TO CHAIR, PART 1 (LONG-SPAN BEAMS)
21	EXTERIOR DESIGN SPECTRUM FACTOR	
22	1. SEISMIC COEFFICIENT	0.5
23	2. DURATION-IMPORTANCE FACTOR	0.75
24	3. SOIL TYPE	1.0
25	4. WIND-INDUCED FACTOR, IS	0.9
26	5. SITE CLASS	2 (PARAMETER)
27	6. DURATION-IMPORTANCE COEFFICIENT, ID	0.75
28	7. SPECTRAL RESPONSE COEFFICIENT, S ₁	0.146
29	8. WIND-INDUCED COEFFICIENT, C ₁	0.9
30	9. BASIC-RECORDING STATION	WOOD-FRAME BUILDING WITH SHEDDING
31	10. BASIC-RECORDING COEFFICIENT, C ₂	0.9
32	11. REPEATED RECORDATION FACTOR, R ₁	1.0
33	12. ANALYSIS PROCEEDING CODE	CONFORMANT LATERAL FORCE PROCEEDURE
34	GEOTECHNICAL INFORMATION	
35	7.1 WET ALL-WEATHER DRIVING PRESSURE	2000 PSF

SELLERS TREYBAL
sts
STRUCTURAL ENGINEERS
277 Nicol Park Road, Suite #220
Watson, VT 05685
802.467.1174 www.STS-Engineers.com

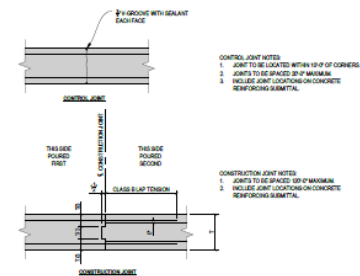
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STS Job File Number	15294



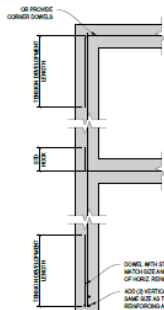
1 SLAB-ON-GRADE DETAILS
NO SCALE



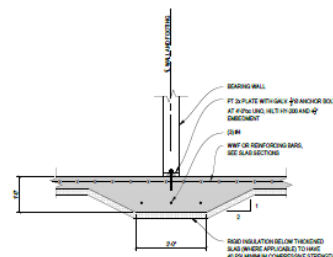
2 TYPICAL SLAB ON GRADE JOINTS
NO SCALE



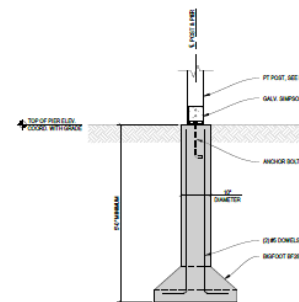
3 TYPICAL CONCRETE WALL JOINTS
NO SCALE



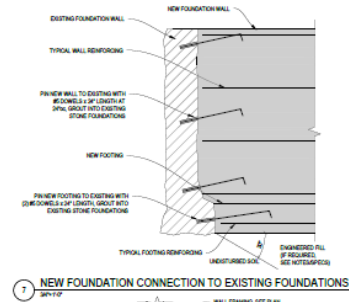
4 TYPICAL WALL CORNER, INTERSECTION AND END DETAILS
NO SCALE



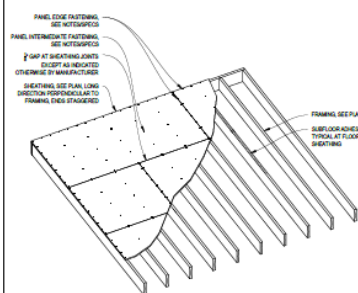
5 TYPICAL STRIP FOOTING AT BEARING WALL
NO SCALE



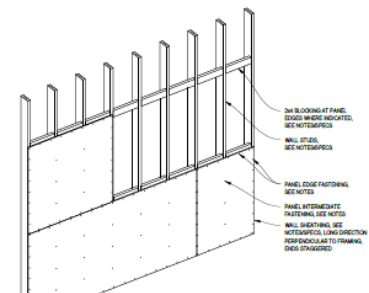
6 TYPICAL PIER SECTION
NO SCALE



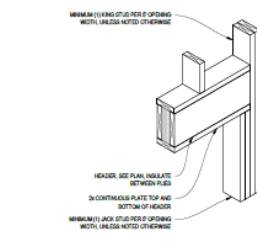
7 NEW FOUNDATION CONNECTION TO EXISTING FOUNDATIONS
NO SCALE



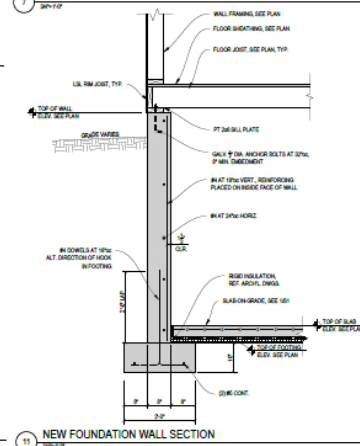
8 TYPICAL FLOOR AND ROOF SHEATHING LAYOUT AND FASTENING
NO SCALE



9 TYPICAL WALL SHEATHING LAYOUT AND FASTENING
NO SCALE



10 TYPICAL WOOD HEADER IN WALL
NO SCALE



11 NEW FOUNDATION WALL SECTION
NO SCALE

N.B.F.
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Phone: 802-775-3168 Fax: 775-6885
e-mail: info@nbfaarchitects.com

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802.471.1174 www.sts-engineers.com

Alterations to:
Keewaydin Manor House
500 Rustic Lane
Salisbury, VT

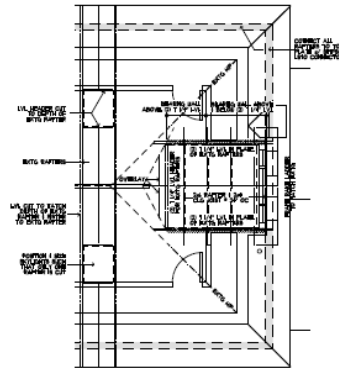
02/14/17
Date: BOOING
Issued For:

SECTIONS AND DETAILS

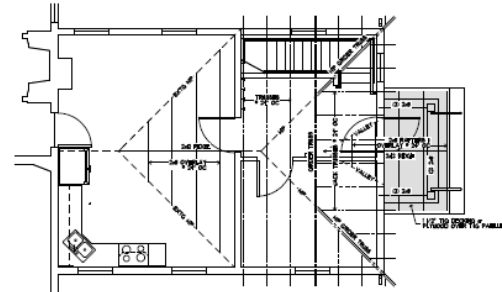
Drawing Title

S1

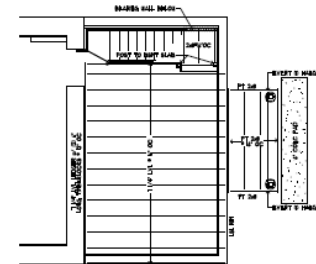
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STS Job File Number: 15294



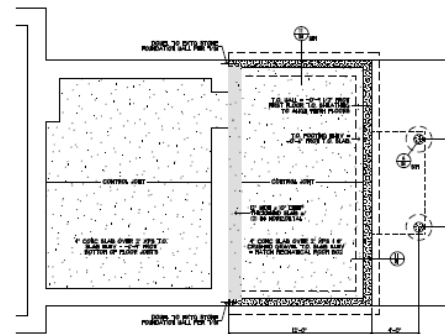
○ DORMER FRAMING TYP OF 2
1/4" = 1'-0"



○ ROOF FRAMING PLAN
1/4" = 1'-0"



○ FLOOR FRAMING PLAN
1/4" = 1'-0"



○ FOUNDATION PLAN
1/4" = 1'-0"

FOUNDATION PLAN
1/4" = 1'-0"

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Alterations to:
**Keewaydin
Manor House**
500 Rustic Lane
Salisbury, Vermont

4/18/17
4/26/17
3/4/17
2-3-17
Revised
Revised

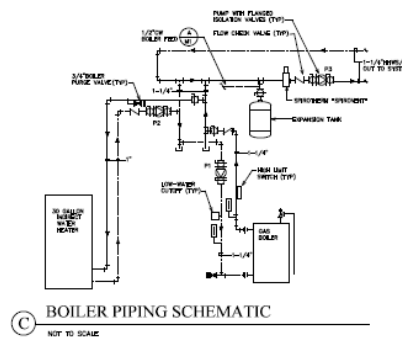
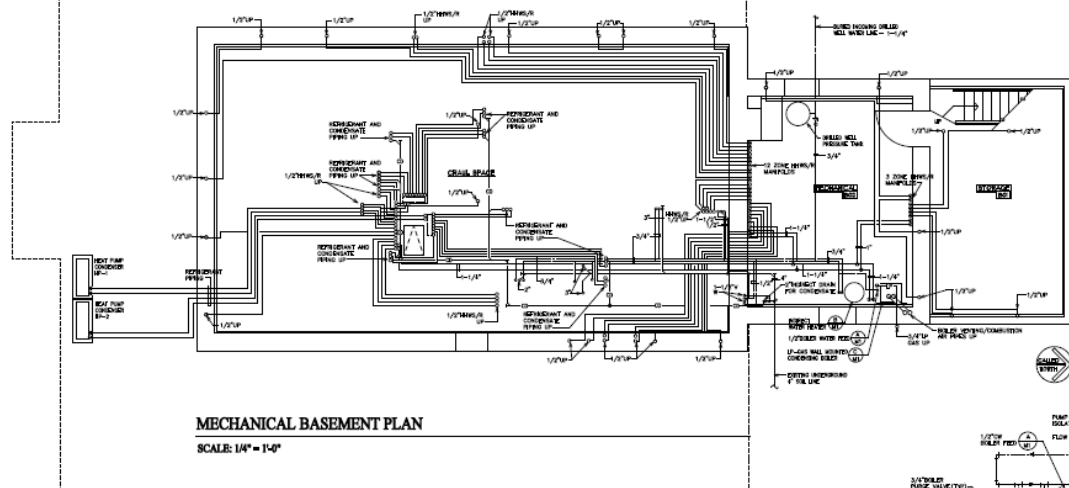
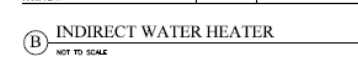
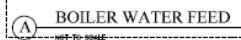
FOUNDATION & FRAMING PLANS

Drawing Title

S2

Drawing Number
Add New Number: MCB
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1	STEAM WATER	1	BALL VALVE (NORMALLY OPEN)	4	WATER OPERATED DAMPER
2	SUPPLY TIE	2	BALL VALVE (NORMALLY CLOSED)	5	DIFFERENTIAL PRESSURE SENSITIVE VALVE
3	SUPPLY TIE	3	SHRIMP GRADE VALVE	6	SHRIMP GRADE VALVE
4	PURCHASE HOT WATER	4	SHRIMP GRADE VALVE	7	SHRIMP GRADE VALVE
5	PURCHASE HOT WATER	5	ELECTRIC TWO-POSITION ZONE VALVE	8	ELECTRIC TWO-POSITION ZONE VALVE
6	PURCHASE RECIRCULATING HOT WATER	6	TRISIZED ZONE VALVE WITH COILS	9	TRISIZED ZONE VALVE WITH COILS
7	HEATING HOT WATER SUPPLY (500 GPM FL)	7	WATERMETER	10	WATERMETER
8	HEATING HOT WATER RETURN (500 GPM FL)	8	WATERMETER	11	WATERMETER
9	FEEDBACK GAS	9	INTERLOCK VALVE	12	INTERLOCK VALVE
10	NATURAL GAS	10	TERMINATING (NATURAL GAS) (HEATING)	13	TERMINATING (NATURAL GAS) (HEATING)
11	LEAKED (DEPENDENT ON COILS)	11	TERMINATING (NATURAL GAS) (HEATING)	14	TERMINATING (NATURAL GAS) (HEATING)
12	NATURAL GAS	12	TERMINATING (NATURAL GAS) (HEATING)	15	TERMINATING (NATURAL GAS) (HEATING)
13	LEAKED (DEPENDENT ON COILS)	13	TERMINATING (NATURAL GAS) (HEATING)	16	TERMINATING (NATURAL GAS) (HEATING)
14	NATURAL GAS	14	TERMINATING (NATURAL GAS) (HEATING)	17	TERMINATING (NATURAL GAS) (HEATING)
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16	NATURAL GAS	16	TERMINATING (NATURAL GAS) (HEATING)	19	TERMINATING (NATURAL GAS) (HEATING)
17	LEAKED (DEPENDENT ON COILS)	17	TERMINATING (NATURAL GAS) (HEATING)	20	TERMINATING (NATURAL GAS) (HEATING)
18	NATURAL GAS	18	TERMINATING (NATURAL GAS) (HEATING)	21	TERMINATING (NATURAL GAS) (HEATING)
19	LEAKED (DEPENDENT ON COILS)	19	TERMINATING (NATURAL GAS) (HEATING)	22	TERMINATING (NATURAL GAS) (HEATING)
20	NATURAL GAS	20	TERMINATING (NATURAL GAS) (HEATING)	23	TERMINATING (NATURAL GAS) (HEATING)
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24	NATURAL GAS	24	TERMINATING (NATURAL GAS) (HEATING)	27	TERMINATING (NATURAL GAS) (HEATING)
25	LEAKED (DEPENDENT ON COILS)	25	TERMINATING (NATURAL GAS) (HEATING)	28	TERMINATING (NATURAL GAS) (HEATING)
26	NATURAL GAS	26	TERMINATING (NATURAL GAS) (HEATING)	29	TERMINATING (NATURAL GAS) (HEATING)
27	LEAKED (DEPENDENT ON COILS)	27	TERMINATING (NATURAL GAS) (HEATING)	30	TERMINATING (NATURAL GAS) (HEATING)
28	NATURAL GAS	28	TERMINATING (NATURAL GAS) (HEATING)	31	TERMINATING (NATURAL GAS) (HEATING)
29	LEAKED (DEPENDENT ON COILS)	29	TERMINATING (NATURAL GAS) (HEATING)	32	TERMINATING (NATURAL GAS) (HEATING)
30	NATURAL GAS	30	TERMINATING (NATURAL GAS) (HEATING)	33	TERMINATING (NATURAL GAS) (HEATING)
31	LEAKED (DEPENDENT ON COILS)	31	TERMINATING (NATURAL GAS) (HEATING)	34	TERMINATING (NATURAL GAS) (HEATING)
32	NATURAL GAS	32	TERMINATING (NATURAL GAS) (HEATING)	35	TERMINATING (NATURAL GAS) (HEATING)
33	LEAKED (DEPENDENT ON COILS)	33	TERMINATING (NATURAL GAS) (HEATING)	36	TERMINATING (NATURAL GAS) (HEATING)
34	NATURAL GAS	34	TERMINATING (NATURAL GAS) (HEATING)	37	TERMINATING (NATURAL GAS) (HEATING)
35	LEAKED (DEPENDENT ON COILS)	35	TERMINATING (NATURAL GAS) (HEATING)	38	TERMINATING (NATURAL GAS) (HEATING)
36	NATURAL GAS	36	TERMINATING (NATURAL GAS) (HEATING)	39	TERMINATING (NATURAL GAS) (HEATING)
37	LEAKED (DEPENDENT ON COILS)	37	TERMINATING (NATURAL GAS) (HEATING)	40	TERMINATING (NATURAL GAS) (HEATING)
38	NATURAL GAS	38	TERMINATING (NATURAL GAS) (HEATING)	41	TERMINATING (NATURAL GAS) (HEATING)
39	LEAKED (DEPENDENT ON COILS)	39	TERMINATING (NATURAL GAS) (HEATING)	42	TERMINATING (NATURAL GAS) (HEATING)
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41	LEAKED (DEPENDENT ON COILS)	41	TERMINATING (NATURAL GAS) (HEATING)	44	TERMINATING (NATURAL GAS) (HEATING)
42	NATURAL GAS	42	TERMINATING (NATURAL GAS) (HEATING)	45	TERMINATING (NATURAL GAS) (HEATING)
43	LEAKED (DEPENDENT ON COILS)	43	TERMINATING (NATURAL GAS) (HEATING)	46	TERMINATING (NATURAL GAS) (HEATING)
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46	NATURAL GAS	46	TERMINATING (NATURAL GAS) (HEATING)	49	TERMINATING (NATURAL GAS) (HEATING)
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48	NATURAL GAS	48	TERMINATING (NATURAL GAS) (HEATING)	51	TERMINATING (NATURAL GAS) (HEATING)
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50	NATURAL GAS	50	TERMINATING (NATURAL GAS) (HEATING)	53	TERMINATING (NATURAL GAS) (HEATING)
51	LEAKED (DEPENDENT ON COILS)	51	TERMINATING (NATURAL GAS) (HEATING)	54	TERMINATING (NATURAL GAS) (HEATING)
52	NATURAL GAS	52	TERMINATING (NATURAL GAS) (HEATING)	55	TERMINATING (NATURAL GAS) (HEATING)
53	LEAKED (DEPENDENT ON COILS)	53	TERMINATING (NATURAL GAS) (HEATING)	56	TERMINATING (NATURAL GAS) (HE



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Alterations to:
**Keewaydin
Manor House**
500 Rustic Lane
Salisbury, Vermont

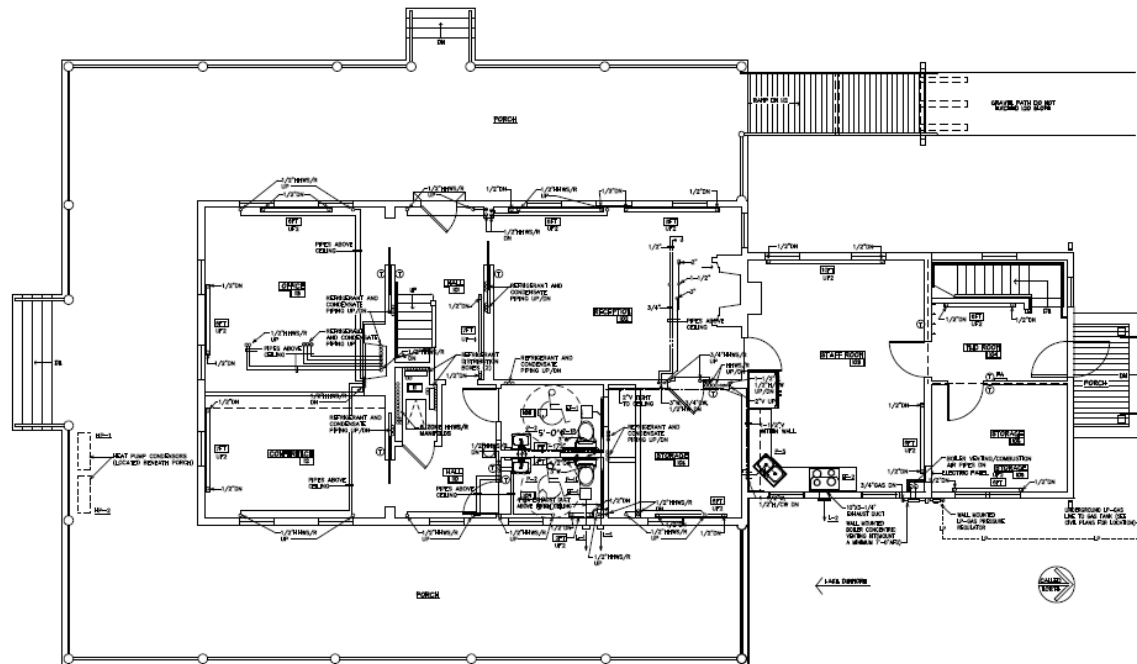
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MECHANICAL
BASEMENT
PLAN

Grading Title	Grading Description	Grading Date	Grading By	Grading For
Grading Title	Grading Description	Grading Date	Grading By	Grading For

M1

Drawing Number
Job File Number



MECHANICAL FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

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Alterations to:
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Salisbury, Vermont

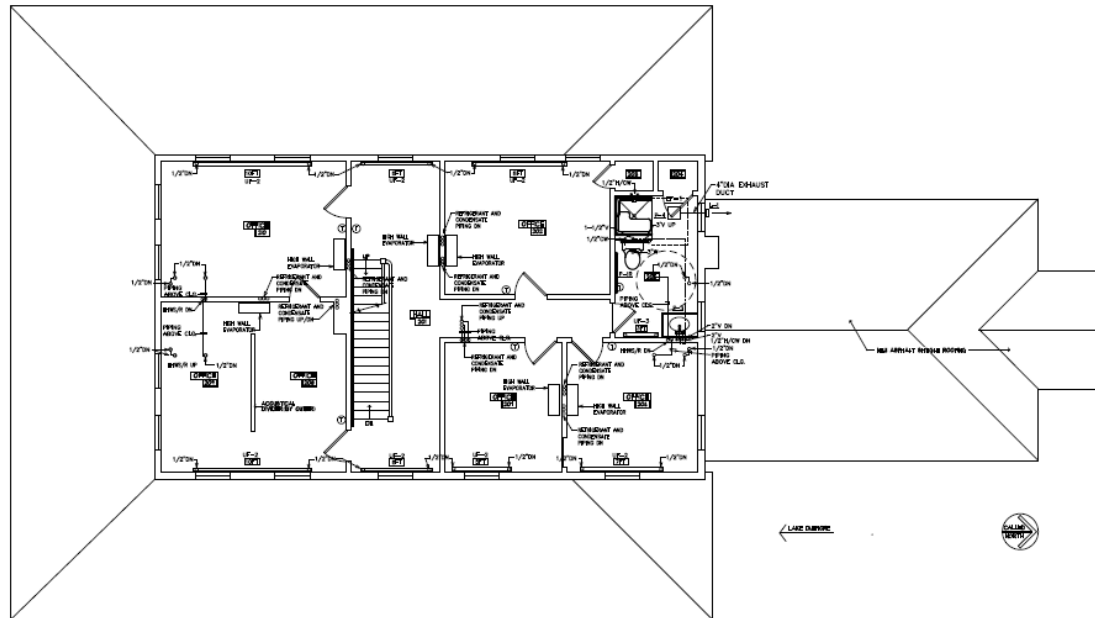
06/14/17 FOR BEDDING
Date Initial For

MECHANICAL
FIRST FLOOR
PLAN

Drawing Title

M2

Drawing Number
Job File Number



MECHANICAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

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Date Issued For

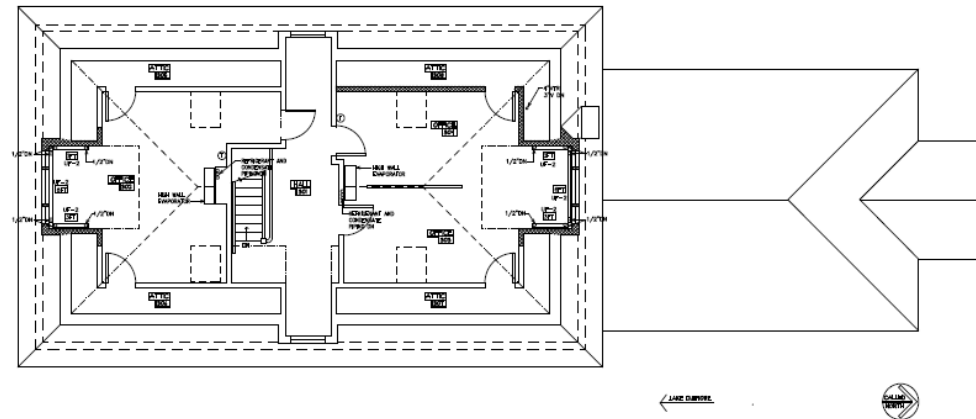
MECHANICAL
SECOND FLOOR
PLAN

Drawn Title

M3

Drawing Number
Job File Number

PLUMBING FIXTURE SCHEDULE									
FIXTURE DESCRIPTION	CONNECTIONS					CONNECTIONS			
	R	S	DR	HW		R	S	DR	HW
P-1. 1.25 OFF ADA HEIGHT TANK-TYPE ELONGATED GRAVITY WATERCLOSET - AMERICAN STANDARD "SILET" TWO HEIGHT MOUNT. 30"X10" VITREOUS CHINA SPINON ACTION CLOSURE. COUPLED ELONGATED RW BOWL WITH 430/100 INSULATED TANK AND TRIP LEVER ON LEFT SIDE. CHARGE 30"X10" OVERFLOW SEAT WITH COVER. 3/8" 1/4 TURN ANGLE SOLO BRASS SUPPLY STOP WITH STAINLESS STEEL FLEXIBLE SUPPLY TUBE.	2"	2"	1/2"	---		2"	1-1/2"	1/2"	1/2"
P-10. 1.25 OFF ADA HEIGHT TANK-TYPE ELONGATED GRAVITY WATERCLOSET - AMERICAN STANDARD "SILET" TWO HEIGHT MOUNT. 30"X10" VITREOUS CHINA SPINON ACTION CLOSURE. COUPLED ELONGATED RW BOWL WITH 430/100 INSULATED TANK AND TRIP LEVER ON RIGHT SIDE. CHARGE 30"X10" OVERFLOW SEAT WITH COVER. 3/8" 1/4 TURN ANGLE SOLO BRASS SUPPLY STOP WITH STAINLESS STEEL FLEXIBLE SUPPLY TUBE.	2"	2"	1/2"	---		2"	1-1/2"	1/2"	1/2"
P-2. ADA WALL-TYPE LAVATORY - AMERICAN STANDARD "LUCID" 30"X10" 20" X 16" VITREOUS CHINA LAVATORY. TURN 20-100 CONCRETE RIM CARRIER. SWANSON "TWINMET" 9-20-2-0 (1) 20" FLOW RESTRICTED SINGLE LEVER FAUCET WITH POP-UP DRAIN ASSEMBLY. 3/8" 1/4 TURN ANGLE SOLO BRASS SUPPLIED WITH STOP AND STAINLESS STEEL FLEXIBLE TUBE. 1-1/2" 17 GA. CHROME PLATED CAST BRASS P-TRAP. TRIGGER 100 E-2 TRAP, ANGLE VALVES AND SUPPLY TUBES INSULATION KIT.	2"	1-1/2"	1/2"	1/2"		2"	1-1/2"	1/2"	1/2"
P-3. ADA INTERNAL COUNTERTOP LAVATORY - COUNTERTOP WITH INTEGRAL SINK BY GENERAL CONTRACTOR. PLUMBING CONTRACTOR TO SUPPLY AND INSTALL THE FOLLOWING: SWANSON "TWINMET" 9-20-2-0 (1) 20" FLOW RESTRICTED SINGLE LEVER FAUCET WITH POP-UP DRAIN ASSEMBLY. 3/8" 1/4 TURN ANGLE SOLO BRASS SUPPLIED WITH STOP AND STAINLESS STEEL FLEXIBLE TUBE. 1-1/2" 17 GA. CHROME PLATED CAST BRASS P-TRAP. TRIGGER 100 E-2 TRAP, ANGLE VALVES AND SUPPLY TUBES INSULATION KIT.	2"	1-1/2"	1/2"	1/2"		2"	1-1/2"	1/2"	1/2"
P-4. 30" SQUARE 2-BURNER REAR ADA SINK - BRAY AND WORTH-OL ONE-PIECE (ZEL-COATED) FREEDLAND ADA UNIT WITH L-SHAPED FOLD-OVER VEHICLE WIPER SEAT AND L-SHAPED TUBING. STAINLESS STEEL 20"X16" SPINON "SHOWER" BRUSH-UP-TO-5 SHAKE UNDER PRESSURE BALANCED MIXING VALVE WITH SHOWER DIVERTER. INTEGRAL SINKER STOPS. 1.5 GPM MINIMUM FLOW. 1.5 GPM WALLMOUNT 8"X10" SINKER WAND WITH 5-FOOT FLEXIBLE METAL HOSE AND 1.5 GPM SEMI-RIGID 2" CHROME PLATED BRASS SHOWER DRAIN.	2"	---	---	---		2"	1-1/2"	1/2"	1/2"
P-5. ADA DOUBLE COMPARTMENT INTERIOR SINK - BRAY "LUCIDITY" 33" X 22" X 6-1/2" DEEP TOP-DRAWING 15 GAUGE NODD. REARING STAINLESS STEEL DOUBLE COMPARTMENT SINK. ELKAY 12-81 STRAINER WITH REMOVABLE BASKET AND REVERSE STOPPED. SWANSON "TWINMET" 9-20-2-0 (1) 20" FLOW RESTRICTED SINGLE LEVER FAUCET WITH POP-UP DRAIN ASSEMBLY. 3/8" 1/4 TURN ANGLE SOLO BRASS SUPPLIED WITH STOP AND STAINLESS STEEL FLEXIBLE TUBE. 1-1/2" 17 GA. CHROME PLATED CAST BRASS P-TRAP. TRIGGER 100 E-2 TRAP, ANGLE VALVES AND SUPPLY TUBES INSULATION KIT.	2"	---	---	---		2"	1-1/2"	1/2"	1/2"
WH. EXTERIOR WALL HYDRANT - WOODFORD MODEL 85 AUTOMATIC DRAWING VACUUM BREAKER. BACKFLOW PREVENTER PROTESTOR HYDRANT. PROVIDED WITH LOOSE KEY MOUNT. APPROXIMATELY 24" AFS.	---	---	---	---		---	---	---	1/2"
CO. CLEANOUT - CLEANOUT PLUG TO BE RATED HEAD TYPE.	---	---	---	---	NOTED	---	---	---	---



MECHANICAL THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"

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Alterations to:
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Salisbury, Vermont

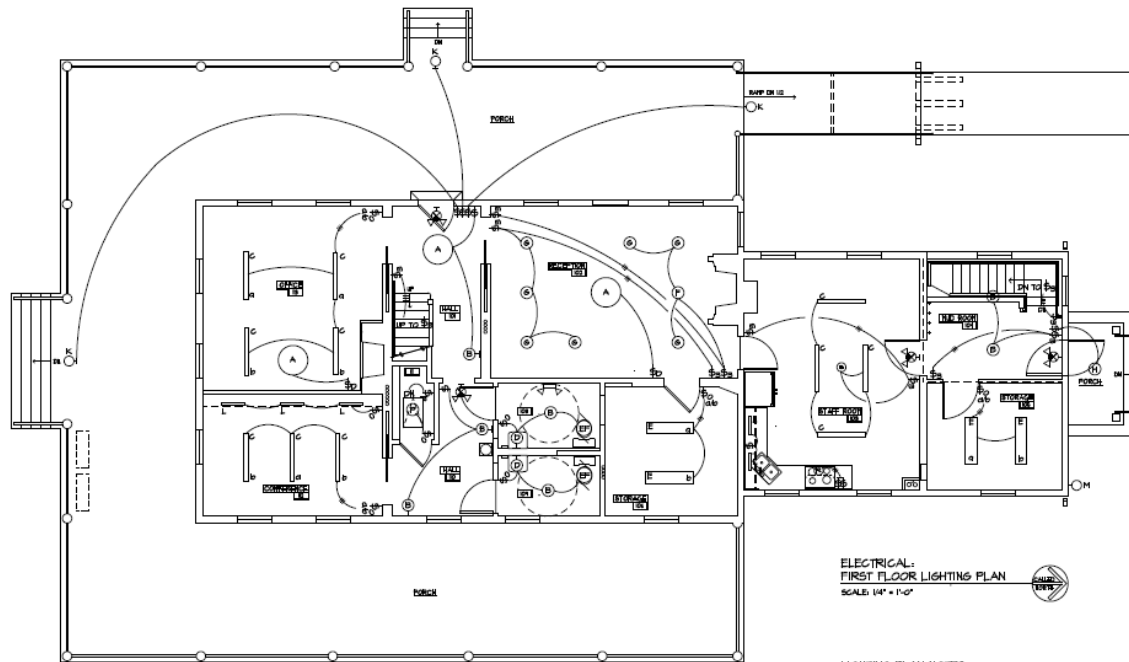
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Date Issued For

MECHANICAL
THIRD FLOOR
PLAN

Drawing Title

M4

Drawing Number
Job File Number



ELECTRICAL:
FIRST FLOOR LIGHTING PLAN
SCALE: 1/4" = 1'-0"

LIGHTING PLAN NOTES:

THESE NOTES APPLY TO THIS DRAWING ONLY.

1. LIGHTING & SWITCHING PATTERN SHOWN TO INDICATE SWITCHING PATTERNS ONLY. CONTRACTOR TO USE HIS DISCRETION TO CORRELATE LIGHTING TO MAKE FULL CIRCUITS FOR FIRST FLOOR INTERIOR LIGHTING. EVENLY DISTRIBUTE LOADS BETWEEN TWO 20A-1P CIRCUITS. 90 AMP MINIMUM WIRE SIZE. (CIRCUITS LP-5, LP-6)
2. ALL EXTERIOR LIGHTING FIXTURES TO BE WIRED TO ONE 20A-1P CIRCUIT THROUGH A 24 HOUR SPOT THE CLOCK LOCATED IN BASEMENT. (CIRCUIT LP-1)
3. WIRE ALL EXIT AND EMERGENCY BATTERY UNITS TO UNWITTED LED OF NEAREST LIGHTING CIRCUIT.
4. CEILING MOUNTED OCCUPANCY SENSOR POWER-PACKS AND OTHER ACCESSORIES ARE NOT INDICATED ON PLAN. INSTALL NECESSARY EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS & WIRING DIAGRAMS.

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Salisbury, Vermont

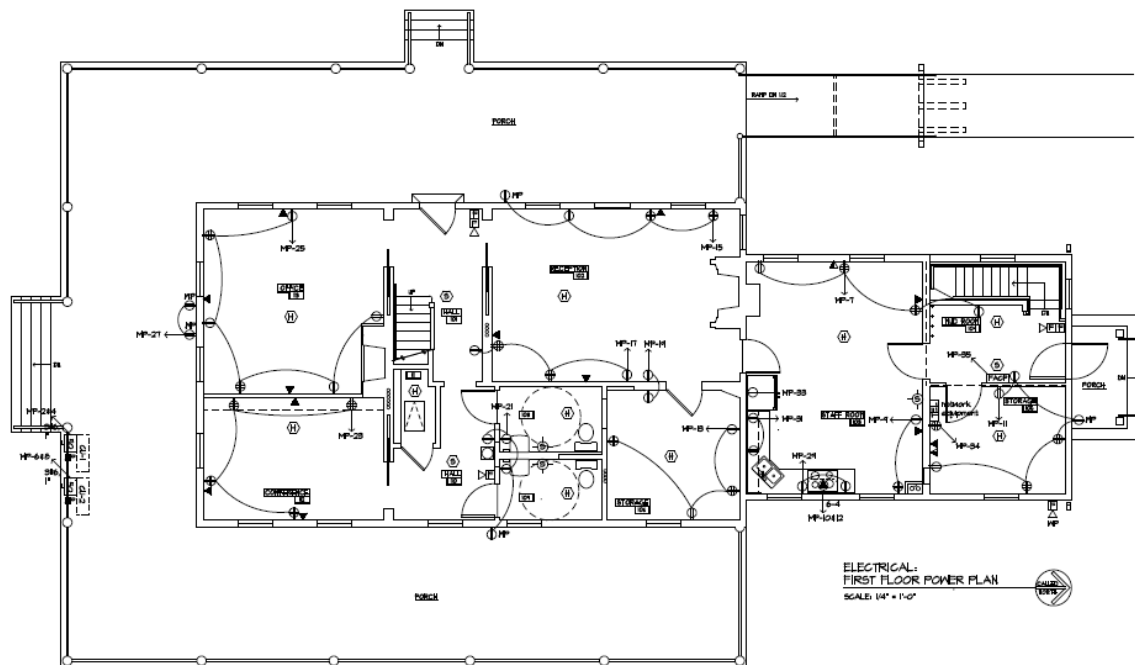
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8-30-17	PERMIT
9-20-17	REVIEW
9-6-17	PERMIT
2-8-17	50% PROGRESS ONLY
Date	Issued For

ELECTRICAL:
FIRST FLOOR LIGHTING

Drawing Title

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Drawing Number
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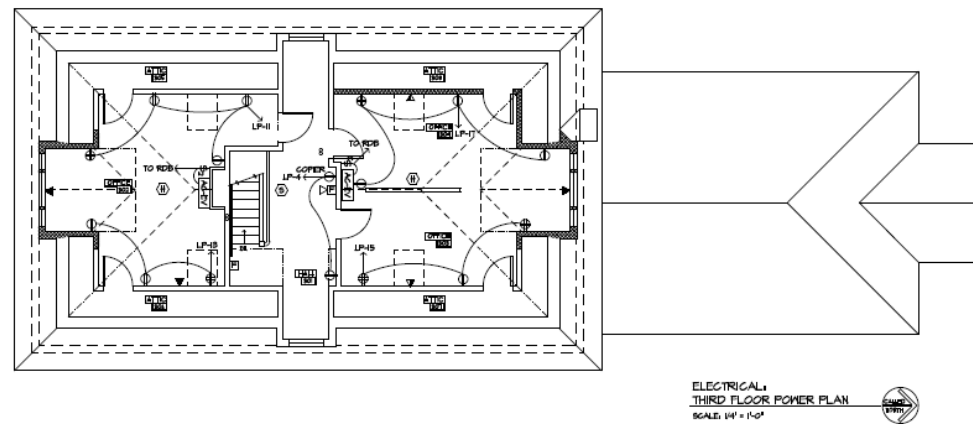
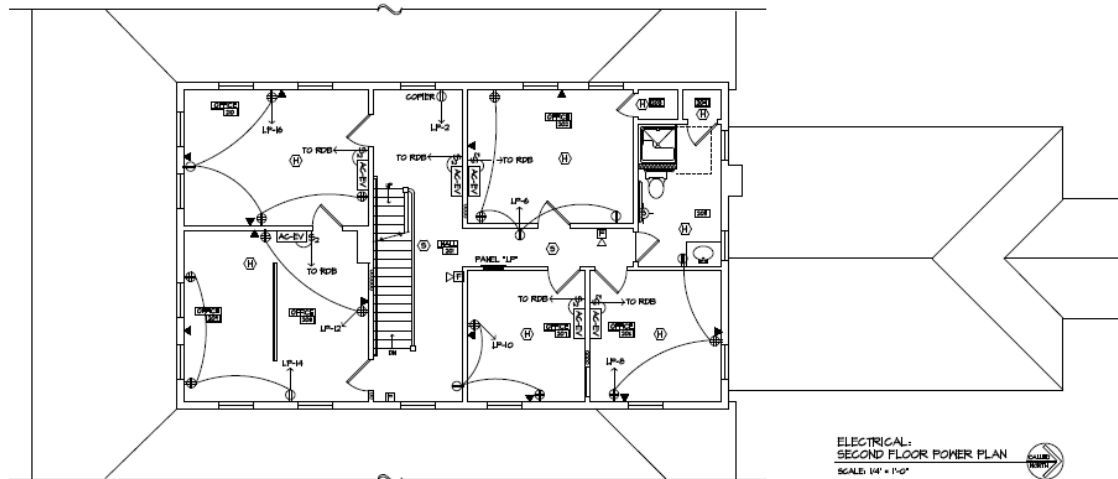
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9-20-17	REVISED
9-6-17	PERMIT
9-6-17	50% PROGRESS ONLY
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ELECTRICAL:
FIRST FLOOR POWER

Drawn: TBA

E3

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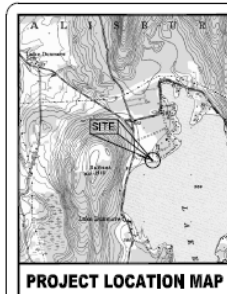
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Alterations to:
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Salisbury, Vermont

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8-30-17	PERMIT
9-20-17	REVISION
9-6-17	PERMIT
2-6-17	SUB PROGRESS ONLY
Date	Issued For

**ELECTRICAL:
SECOND & THIRD
FLOOR POWER**

Drawing Title
E4
Drawing Number
List File Number



GENERAL NOTES

3. THESE PLANS ARE BASED ON A TOPOGRAPHIC SURVEY CONDUCTED WITH A TRIMBLE SCIENTIFIC TOTAL STATION ON 4/22/2017 BY OTTER CDD ENGINEERING, INC.
4. IN THE PREPARATION OF THESE PLANS, DATA FROM THE FOLLOWING SOURCES WERE NOTIFICATION:
 - A. LOCAL JURISDICTIONS, PROVIDED BY WHITTAKER DAWSON, INCORPORATED, HAS THE UNDISTURBED SYSTEMS ARE BASED ON INFORMATION PROVIDED BY OTTER AND FIELD SURVEYING BY OTTER CDD ENGINEERING, INC. FOR ALL INFORMATION PROVIDED BY OTTER CDD ENGINEERING, INC. IS INTENDED FOR GENERAL UTILITY LAYOUT ONLY. ALL UTILITY LOCATIONS SHOULD BE FIELD VERIFIED PRIOR TO ANY WORK.
5. ELEVATION IS BASED ON NAVD 83.
6. COORDINATE SYSTEM IS BASED ON NAD 83.
7. FOR CLIMATE, TEST EQUIPMENT EXTENSION TIME IS VARIATION IN LOWER CASE, AND TEST DURATION PROVIDED PRIOR TO APPROVAL AND BUILD.
8. REFER TO LOCUS LOCATED ON THIS SHEET FOR SIMILAR INDICATIONS.
9. ALL UNDERGROUND UTILITIES ARE SHOWN AS APPROXIMATE LOCATIONS.
10. THIS IS NOT A BOUNDARY SURVEY.

SAFETY NOTES

CONTRACTOR SHALL BE RESPONSIBLE FOR INTERNAL, ANCHORAGE AND SUFFICIENT LATERAL BRACING OF ALL STEEL MEMBERS TO PREVENT CHORD BUCKLING AND SHEAR. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE, INJURY OR LOSS TO:

- ALL UTILITIES ON THE WORK SITE AND OTHER PERSONS WHO MAY BE AFFECTED;
- THE WORK SITE AND ALL MATERIALS AND EQUIPMENT TO BE INCORPORATED INTO THE PROJECT;
- THIRD PARTIES AT THE SITE OR ADJACENT INCLUDING BUT NOT LIMITED TO OTHERS, TRUCKS, LARVAL, MARINE, AIRCRAFT, HIGHWAYS, STRUCTURES AND UTILITIES BELONGING TO OTHERS; AND
- THE CONTRACTOR FOR DAMAGE TO OR DISRUPTION OF THE COURSE OF CONSTRUCTION.

CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY AGENCY OR OF ANY PUBLIC BODY HAVING JURISDICTION OVER THE SAFETY OF PERSONS OR PROPERTY.

THE CONTRACTOR SHALL MAINTAIN ORDERS OF ALL AGENCY PERSONS AND UTILITIES NOTED ABOVE.

THE CONTRACTOR INTENDS AND RECOGNIZES THAT THE SAFETY AND PROTECTION OF THE WORK SHALL CONTINUE UNTIL THE END OF ALL WORK IS COMPLETED.

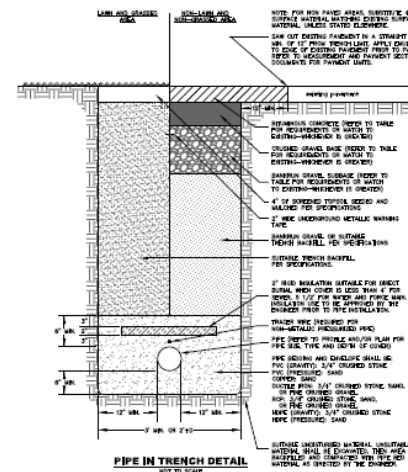
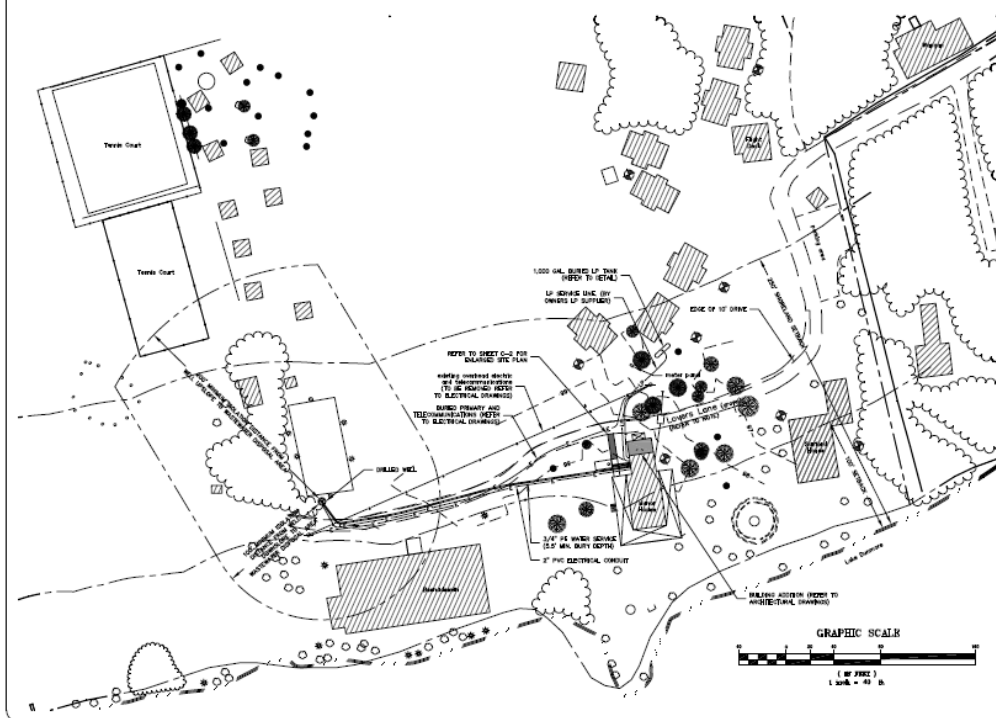
THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND WORK IS AN APPROPRIATE WAY TO PREVENT DAMAGE TO EXISTING UTILITIES AND TO PREVENT DAMAGE TO THE CONTRACTOR SHALL DETERMINE THE EXISTENCE OF ALL EXISTING LATERAL FORCE RESISTING CAPACITY OF ALL EXISTING STRUCTURES AND UTILITIES AND SHALL BE MAJOR BOUND BY THE CONTRACTOR'S FAILURE TO EXHAUSTIvely RESEARCH AND RECONSTRUCT ANY AND ALL EXISTING UTILITIES.

CONTRACTOR SHALL COORDINATE WITH (64-SP-100-344-220) AND PROVIDE A COPY OF A MEMORANDUM OF AGREEMENT PRIOR TO PERFORMING ANY DISCUSSION.

AT THE CLOSE OF EACH WORK DAY, THE CONTRACTOR SHALL BRIDGE OR OTHERWISE PROTECT ALL EXISTING UTILITIES.

DRILLED WELL REQUIRED MINIMUM HORIZONTAL SEPARATION DISTANCES

THESE REQUIREMENTS APPLY ONLY TO NEW WATERSHEDS WITH A MAXIMUM DAILY DEMAND LESS THAN 1.0 MGD.	
WELL LOCATION AND CONSTRUCTION MUST MEET THE STANDARDS OF THE STATE OF MISSISSIPPI DEPARTMENT OF AGRICULTURE, REVENUE AND FORESTRY BUREAU.	
<u>FORMAL REVIEW OF SUBMITTALS</u>	<u>REGISTRATION FEE/INANCE</u>
DESIGN, PERMIT FEE - 1000 DOLLARS PER INCH OF DRAINAGE	100 FEET
DRAINAGE OF RESIDENCES	100 FEET
DESIGN STATE INSPECTION FEE 4000.00 GPD	100 FEET IF WELL CONSTRUCTION, 100 FEET IF WELL DRILLING
SUBSISTENCE MAINTENANCE PUMPING AND RELATED TANKS	100 FEET
PROPERTY LINE	100 FEET (50 FEET ADJACENT TO CROPLAND)
USE OF FERTILIZER APPLICATION ON UTILITY P.O.M.	100 FEET
SEWERAGE WATER	100 FEET
FLOOD WAYS	NOT ALLOWED IN FLOODWAYS
SEWERAGE	100 FEET
CONSTRUCTION LOCATION HOLDING AREA AND MAINTENANCE STATION	ALL PERMITS
HAZARDOUS OR WASTED WATER DISPOSAL SITE	CONTACT DRAINAGE
NON-HAZARDOUS WASTEWATER DISPOSAL, FIELDS	CONTACT DRAINAGE



TRENCH RESTORATION TABLE			
LOCATION	ITEMS TO BE RESTORED	TYPE	DEPTH
STATE VEHICLES	TYPE 1: 1/2" TYPE 2: 3/4"	8"	10"
TOWN ROADS	TYPE 1: 1/2" TYPE 2: 3/4"	8"	12"
PRIVATE DRIVE	TYPE 1: 1/2" TYPE 2: 3/4"	12"	10"



**OTHERCREEK
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STAMP AND SIGNATURE



DAVID A. JOHNSON
REGISTERED PROFESSIONAL ENGINEER
NO. 10000
EXPIRATION DATE 12/31/2017

MADE WITHOUT CONSENT OF THE BOARD OF ENGINEERS
FOR THE STATE OF VERMONT
UNLAWFUL TO REPRODUCE OR TRANSMIT
IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF
OTHERCREEK ENGINEERING, INC.
BURLINGTON, VT 05401

OTHERCREEK ENGINEERING, INC.



0° 0' 0" NORTH

KEEWAYDIN FOUNDATION

CAMP SONGADEWIN

MANOR HOUSE IMPROVEMENTS

SALISBURY, VERMONT

BID

DATE: 10/20/2017
BY: JAC

REVISIONS BY: SR

REVISIONS BY: JAC

SCALE:

PROJECT NO: 2007-015

CAD FILE: 2007-015.dwg

DATE: 10/20/2017

1.

SITE PLAN, NOTES AND DETAILS

OTHERCREEK, INC.

C-1

